



Attachment 1 to Item 13

Proposed Plans

Date of meeting: 20 October 2022
Location: By audio-visual link
Time: 10:00 a.m.

PROPOSED RETAIL & SHOPPING CENTRE AT 87 OLD BELLS LINE OF ROAD, KURRAJONG, NSW



Artist Impression View Looking towards North East on Old Bells of Line Road

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REVISION SCHEDULE				
ISSUE	DESCRIPTION	ISSUED BY	DRAWN BY	DATE
A	FOR CLIENT REVIEW	SO	MO	30 04 2021
B	FOR CLIENT REVIEW	SO	MO	04 05 2021
C	FOR CLIENT REVIEW	SO	MO	27 05 2021
D	FOR CLIENT REVIEW	SO	MO	13 07 2021
E	GENERAL AMENDMENTS	SO	MO	15 07 2021
F	AMENDMENTS AS PER COUNCIL LETTER (Dated-10 02 2022)	SO	AS	29 04 2022

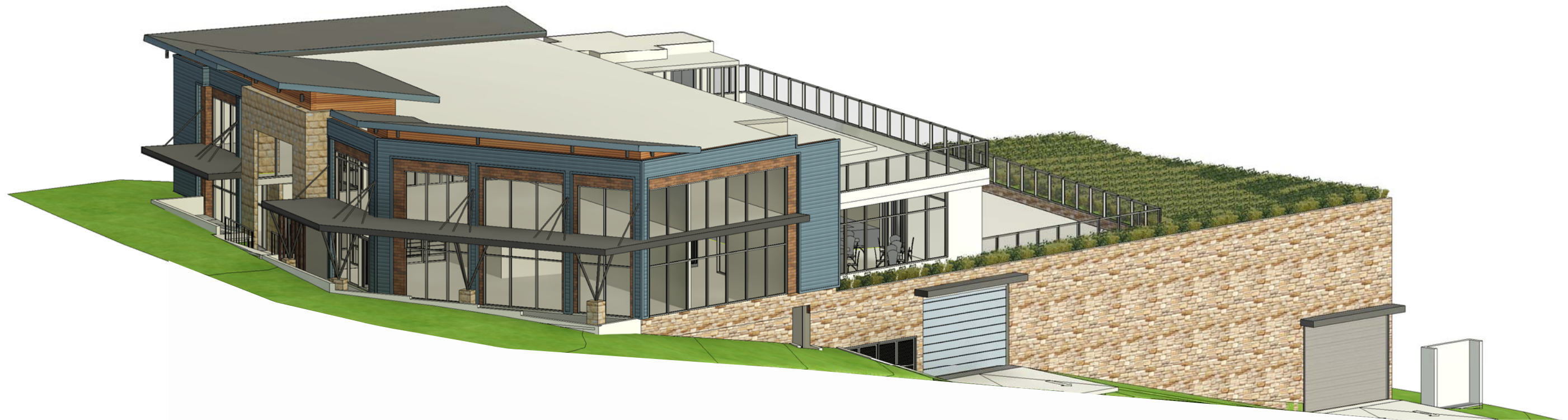
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		THIS DRAWING ISSUE HAS BEEN REVIEWED BY DIRECTOR - SO	DRAWING TITLE Artist Impression View Looking towards North East on Old Bells of Line Road DATE 29 04 2022 SCALE @ A1	JS Architects Pty Ltd Suite 4.04, Level 4, No. 5 Celebration Drive BELLA VISTA ~ NSW 2153 Australia T : 61 2 8814-6991 FAX: 61 2 8814-6992 M : 61 412 06 06 04 E : info@jsarchitects.com.au W : www.jsarchitects.com.au ABN 70 119 946 075 Nominated Architect: Szymon Ochudzawa (RAIA 6866)
			PROJECT NUMBER 015 / 20-21	DRAWING No. A101
				ISSUE F



1 ARIEL VIEW 02



2 ARIEL VIEW 03

REVISION SCHEDULE

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DRAWING TITLE
ARIEL VIEWS 01

DATE
29 04 2022

SCALE @ A1
1 : 50

PROJECT NUMBER
015 / 20-21

DRAWING No.
A102

ISSUE
F

PROJECT
PROPOSED RETAIL &
SHOPPING CENTRE
87 OLD BELLS OF LINE OF
ROAD, KURRAJONG

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Nominated Architect: Szymon Ochudzawa (RAIA 6865)





1 ARIEL VIEW

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DRAWING TITLE
ARIEL VIEW 02

DATE
29 04 2022

SCALE @ A1
1 : 50

PROJECT NUMBER
015 / 20-21

DRAWING No.
A103

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PROJECT
PROPOSED RETAIL &
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87 OLD BELLS OF LINE OF
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Nominated Architect: Szymon Ochudzawa (RAIA 6865)



DESIGN CALCULATION DATA

SITE AREA : 2003.00 m²

BASEMENT 02

a) LOADING DOCK	: 344.09 m²
b) PARKING	: 969.31 m²
c) LIFT, STAIR & LOBBY	: 131.59 m²
d) STORE	: 32.00 m²
TOTAL BASEMENT 02 AREA	:1476.90m²

BASEMENT 01

a) SUPER MARKET	: 644.00 m²
b) PARKING	: 646.20 m²
c) LIFT, STAIR & LOBBY	: 140.51 m²
d) STORE	: 46.00 m²
e) IT METERING + GAS	: 11.00 m²
f) SUB MAIN + ELECTRICAL	: 11.00 m²
g) TROLLRY STORE	: 26.00 m²
h) SUB STATION	: 13.46 m²
TOTAL BASEMENT 01 AREA	:1538.17 m²

GROUND FLOOR

a) RETAIL	: 373.00 m²
b) LIFT, STAIR & LOBBY	: 59.89 m²
c) COMMON AREA	: 376.94m²
d) KOISK	: 38.00 m²
e) TERRACE + PLANTERS	: 646.96m²
f) RAMPS & STEPS AT ENTRY	: 51.93 m²
g) TOILET	: 83.00 m²
TOTAL GROUND FLOOR AREA	: 1672 m²

FIRST FLOOR

a) RESTAURANT	: 226.00 m²
b) RETAIL	: 263.00 m²
c) LIFT, STAIR & LOBBY	: 60.35 m²
d) COMMON AREA	: 173.95 m²
e) RAMPS & STEPS AT ENTRY	: 51.93 m²
f) TERRACE	: 223.33 m²

TOTAL GROUND FLOOR AREA :1018.56 m²

DEEP SOIL ZONE : 273.15 m²

PARKING

a) CUSTOMER (C)	: 35
b) STAFF (S)	: 19
c) DOCTOR (E)	: 01
c) AMBULANCE (E)	: 01
TOTAL PARKING	: 56
d) MOTOR CYCLE PARKING	: 02
e) BICYCLE PARKING	: 05

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DRAWING TITLE

DESIGN CALCULATION DATA

DATE

29 04 2022

SCALE @ A1

1 : 10

PROJECT NUMBER

015 / 20-21

DRAWING No.

A104

ISSUE

F

PROJECT

PROPOSED RETAIL &
SHOPPING CENTRE
87 OLD BELLS OF LINE OF
ROAD, KURRAJONG

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LINE OF ROAD

LOT 16
DP 581895

PROPOSED SHOPPING CENTRE
AT 87 OLD BELLS LINE OF
ROAD, KURRAJONG
LOT 1, DP 715623
AREA: 2003.00 m²

SITE PLAN

1 : 100

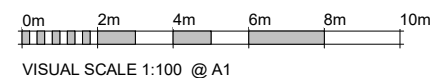
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VISUAL SCALE 1:100 @ A1

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DRAWING TITLE
SITE PLAN

DATE
29 04 2022

SCALE @ A1
1 : 100

PROJECT NUMBER
015 / 20-21

DRAWING No.
A105

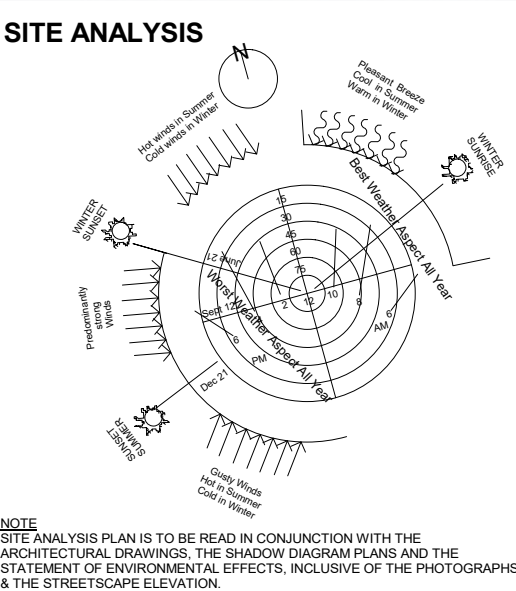
ISSUE
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PROJECT

PROPOSED RETAIL &
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87 OLD BELLS OF LINE OF
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Nominated Architect: Symon Ochudzawa (RAIA 6865)





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DRAWING TITLE

SITE ANALYSIS

DATE

29 04 2022

SCALE @ A1

As indicated

PROJECT NUMBER

015 / 20-21

DRAWING No.

A106

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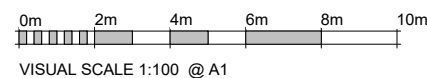
REVISIONS

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DRAWING TITLE
BASEMENT 02 FLOOR PLAN

DATE
29 04 2022

SCALE @ A1
1 : 100

PROJECT NUMBER

015 / 20-21

DRAWING No.

A107

ISSUE

F

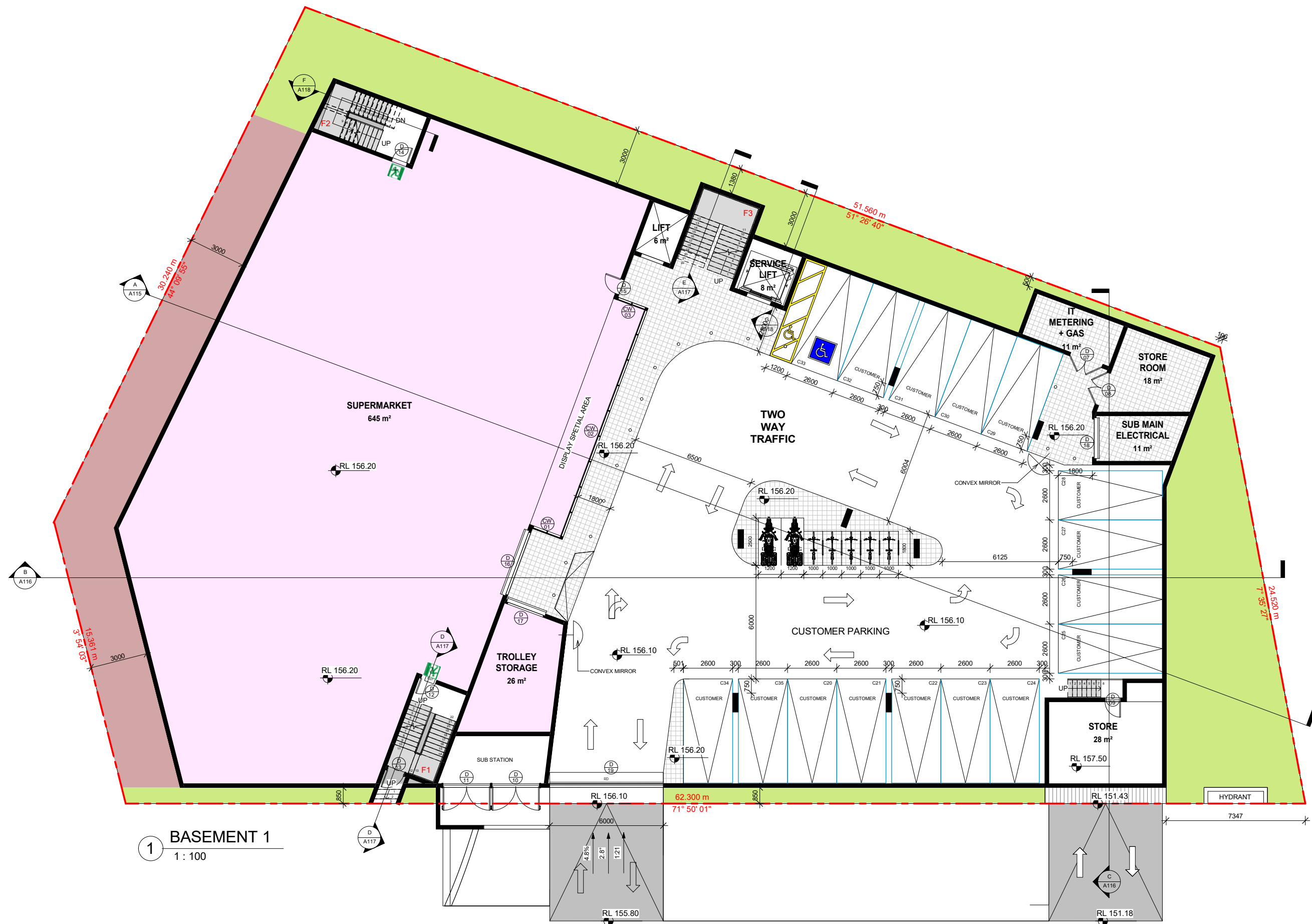
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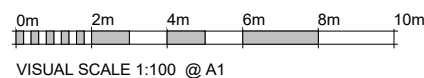
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KURMOND HOMES

DRAWING TITLE
BASEMENT 01 FLOOR PLAN

DATE
29 04 2022

SCALE @ A1
1 : 100

PROJECT NUMBER

015 / 20-21

DRAWING No.

A108

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PROJECT

PROPOSED RETAIL &
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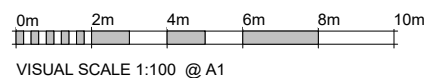




1 GROUND LEVEL PLAN
1 : 100

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KURMOND HOMES

DRAWING TITLE
GROUND LEVEL PLAN

DATE
29 04 2022

SCALE @ A1
1 : 100

PROJECT NUMBER
015 / 20-21

DRAWING No.
A109

ISSUE
F

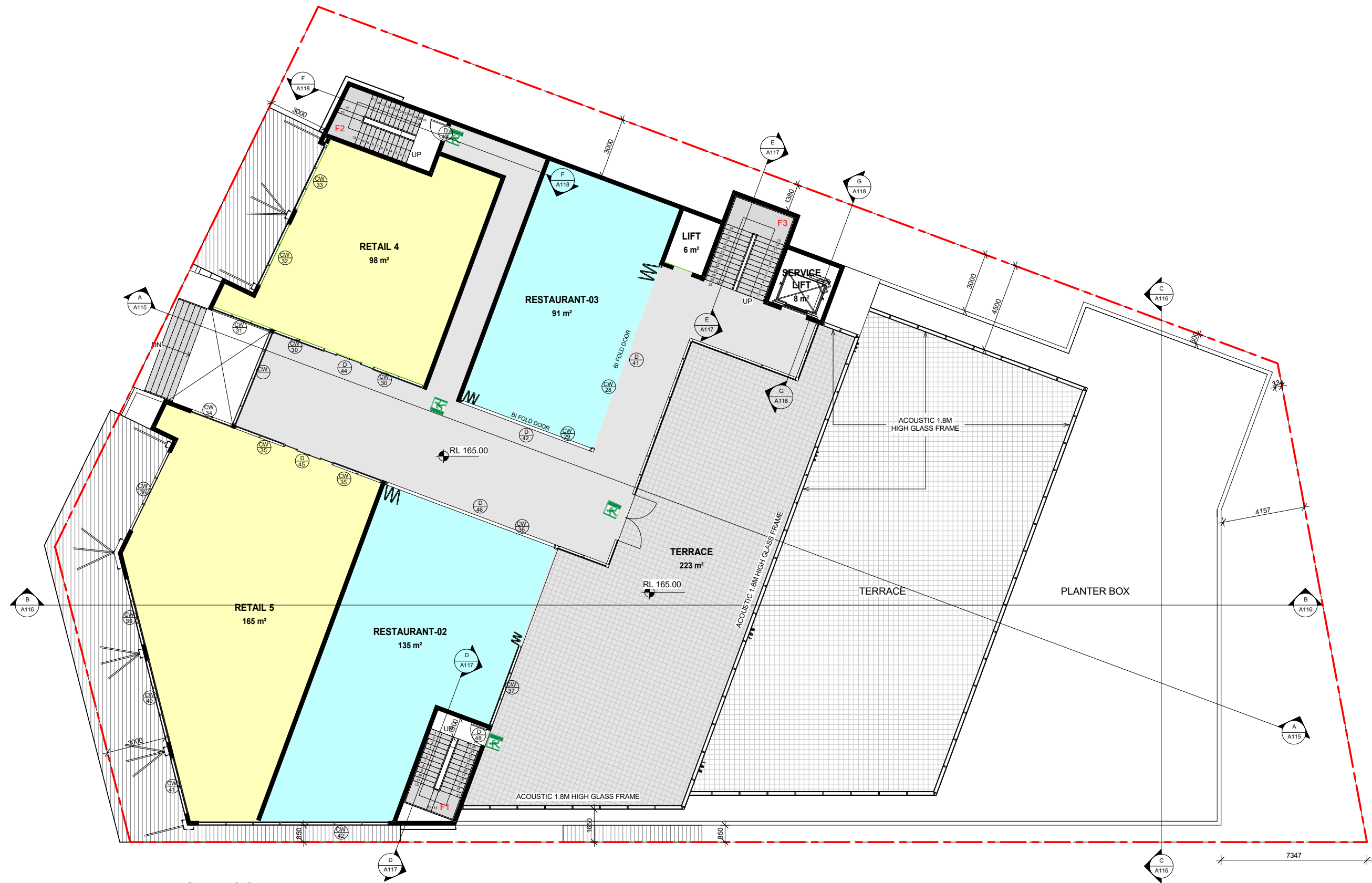
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1 FIRST FLOOR PLAN
1 : 100

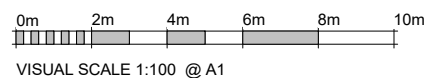
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KURMOND HOMES

DRAWING TITLE
FIRST FLOOR PLAN

DATE
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DRAWING No.
A110

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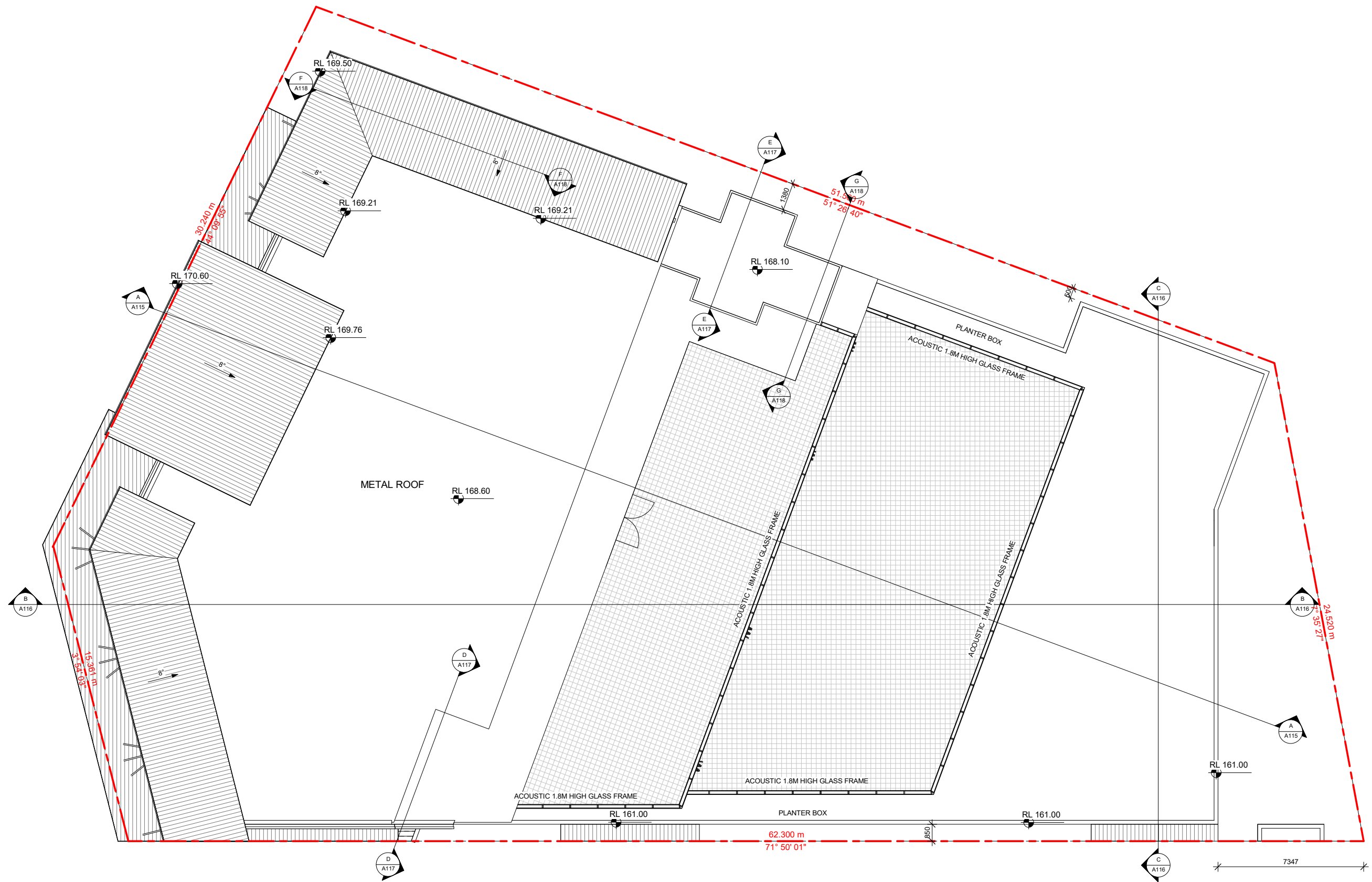
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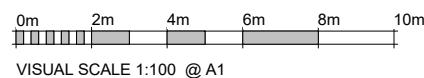


1 ROOF PLAN
1 : 100

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CLIENT

KURMOND HOMES

DRAWING TITLE
ROOF PLAN

DATE
29 04 2022

SCALE @ A1
1 : 100

PROJECT NUMBER
015 / 20-21

DRAWING No.
A111

ISSUE
F

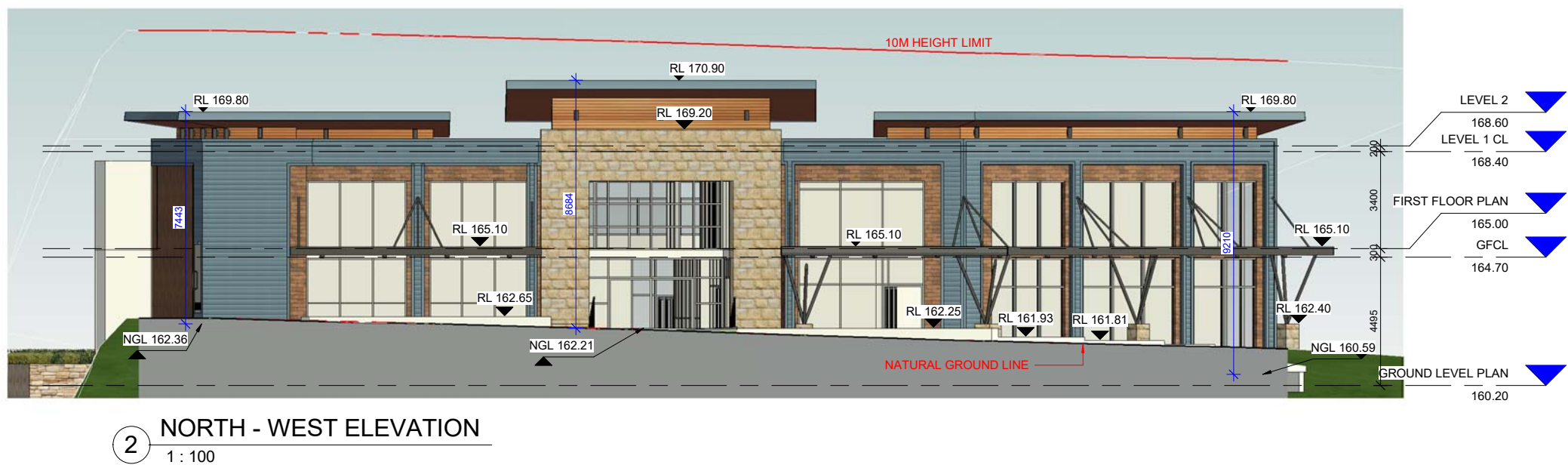
PROJECT

PROPOSED RETAIL & SHOPPING CENTRE
87 OLD BELLS OF LINE OF ROAD, KURRAJONG

JS Architects Pty Ltd
Suite 4.04, Level 4, No. 5 Celebration Drive
BELLA VISTA ~ NSW 2153 Australia

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M : 61 412 06 06 04
E : info@jsarchitects.com.au
W : www.jsarchitects.com.au
ABN 70 119 946 575
Nominated Architect: Szymon Ochudzawa (RAIA 6865)

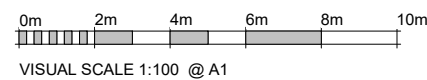




REVISION SCHEDULE

ISSUE	DESCRIPTION	ISSUED BY	DRAWN BY	DATE
A	FOR CLIENT REVIEW	SO	MO	30 04 2021
B	FOR CLIENT REVIEW	SO	MO	04 05 2021
C	FOR CLIENT REVIEW	SO	MO	27 05 2021
D	FOR CLIENT REVIEW	SO	MO	13 07 2021
E	GENERAL AMENDMENTS	SO	MO	15 07 2021
F	AMENDMENTS AS PER COUNCIL LETTER (Dated-10 02 2022)	SO	AS	29 04 2022

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KURMOND HOMES

DRAWING TITLE
ELEVATIONS

DATE
29 04 2022

SCALE @ A1
As indicated

PROJECT NUMBER
015 / 20-21

DRAWING No.
A112

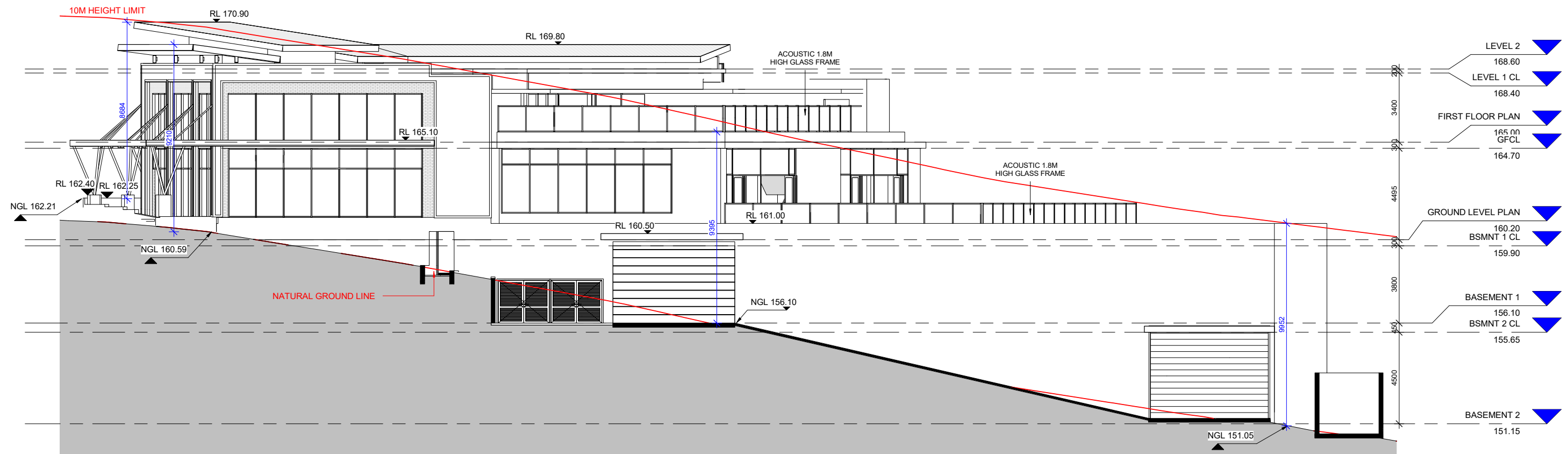
ISSUE
F

PROJECT

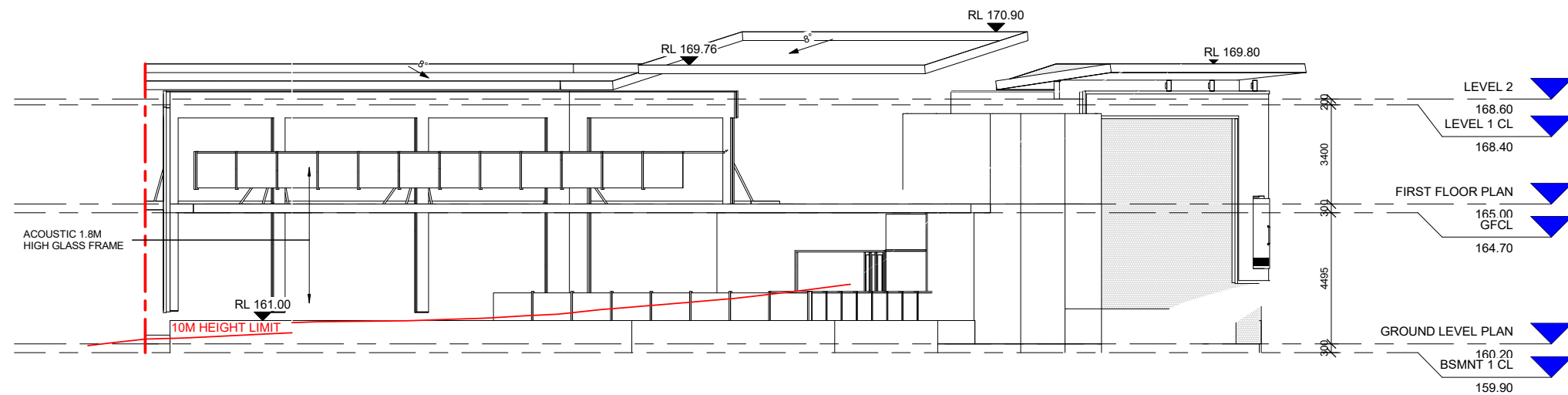
PROPOSED RETAIL &
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ABN 70 119 946 575
Nominated Architect: Szymon Ochudzawa (RAIA 6865)





1 SOUTH ELEVATION
1 : 100

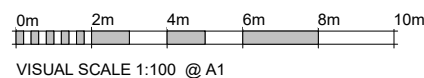


2 EAST ELEVATION
1 : 100

REVISION SCHEDULE

ISSUE	DESCRIPTION	ISSUED BY	DRAWN BY	DATE
A	FOR CLIENT REVIEW	SO	MO	30 04 2021
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DRAWING TITLE
ELEVATIONS

DATE
29 04 2022

SCALE @ A1
1 : 100

PROJECT NUMBER
015 / 20-21

DRAWING No.
A113

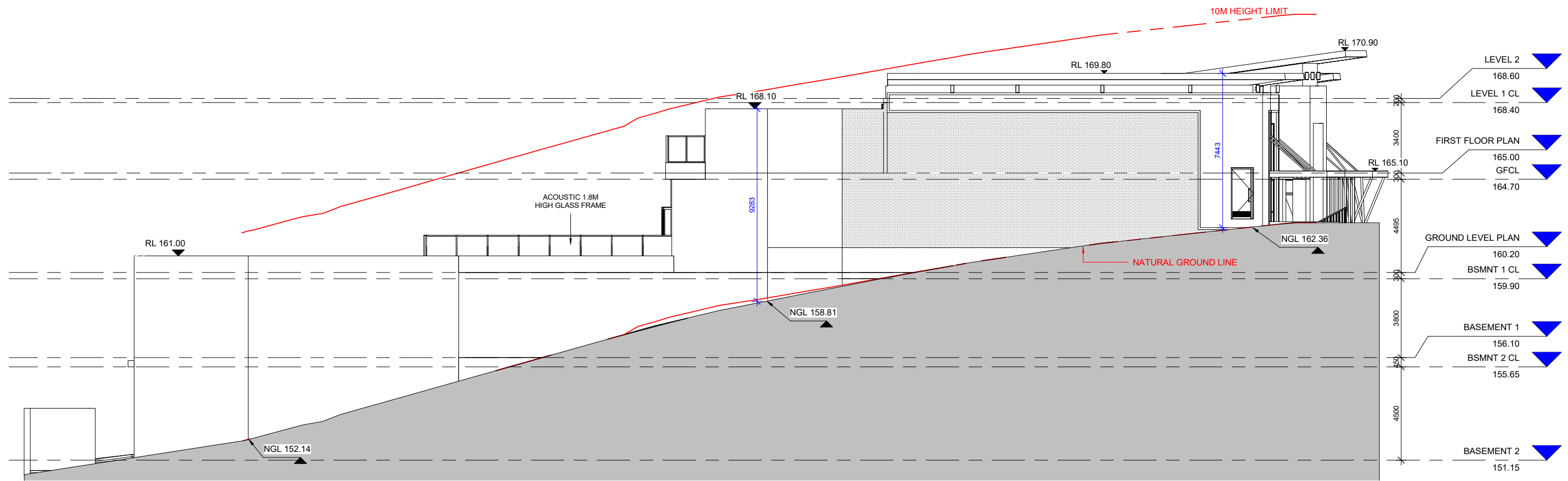
ISSUE
F

PROJECT

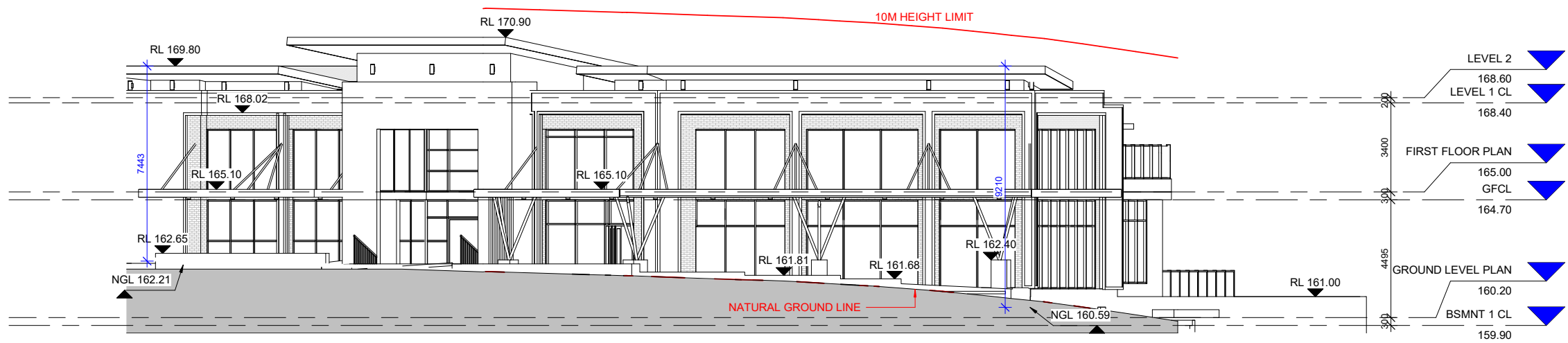
PROPOSED RETAIL &
SHOPPING CENTRE
87 OLD BELLS OF LINE OF
ROAD, KURRAJONG

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ABN 70 119 946 075
Nominated Architect: Stymon Ochudzawa (RAIA 6865)

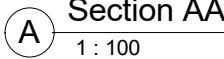




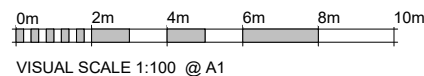
1 NORTH - EAST ELEVATION
1 : 100



2 SOUTH - WEST ELEVATION
1 : 100



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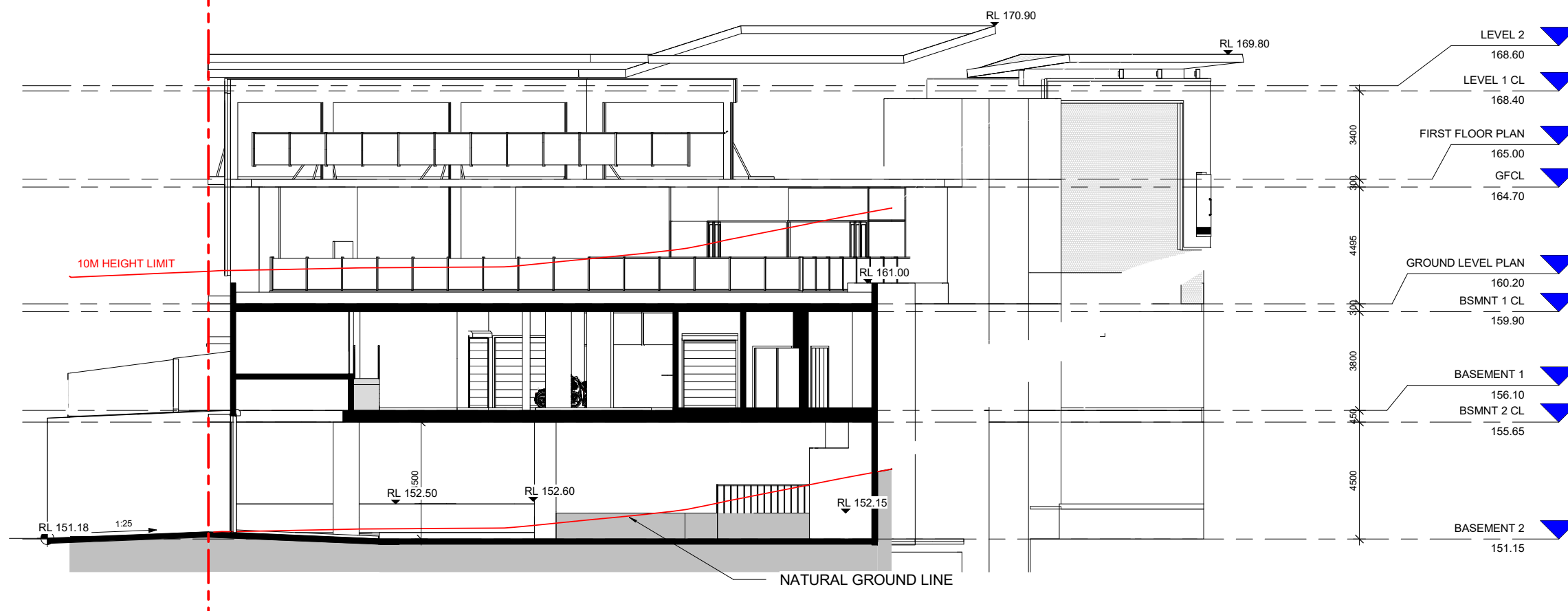
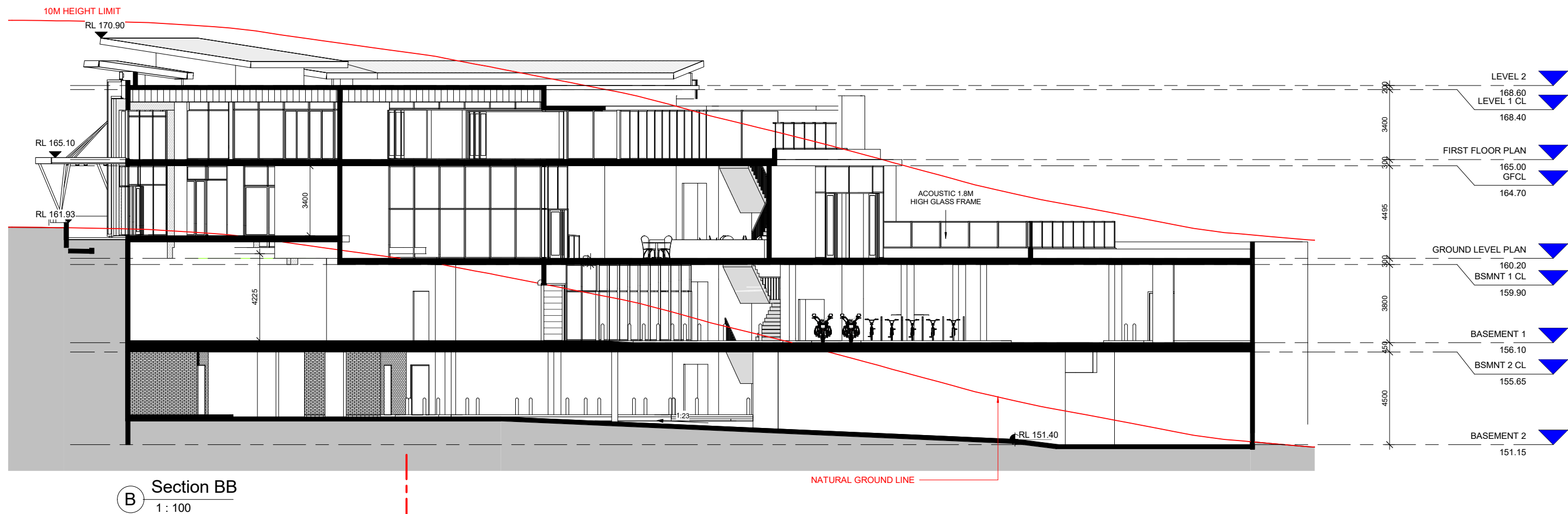


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ABN 70 119 946 575
Nominated Architect: Seymour Ochudzka (RAIA 6865)





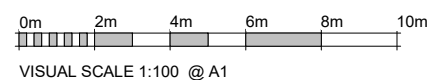
REVISION SCHEDULE

ISSUE	DESCRIPTION	ISSUED BY	DRAWN BY	DATE
A	FOR CLIENT REVIEW	SO	MO	30 04 2021
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KURMOND HOMES

DRAWING TITLE
SECTIONS

DATE
29 04 2022

SCALE @ A1
1 : 100

PROJECT NUMBER
015 / 20-21

DRAWING No.
A116

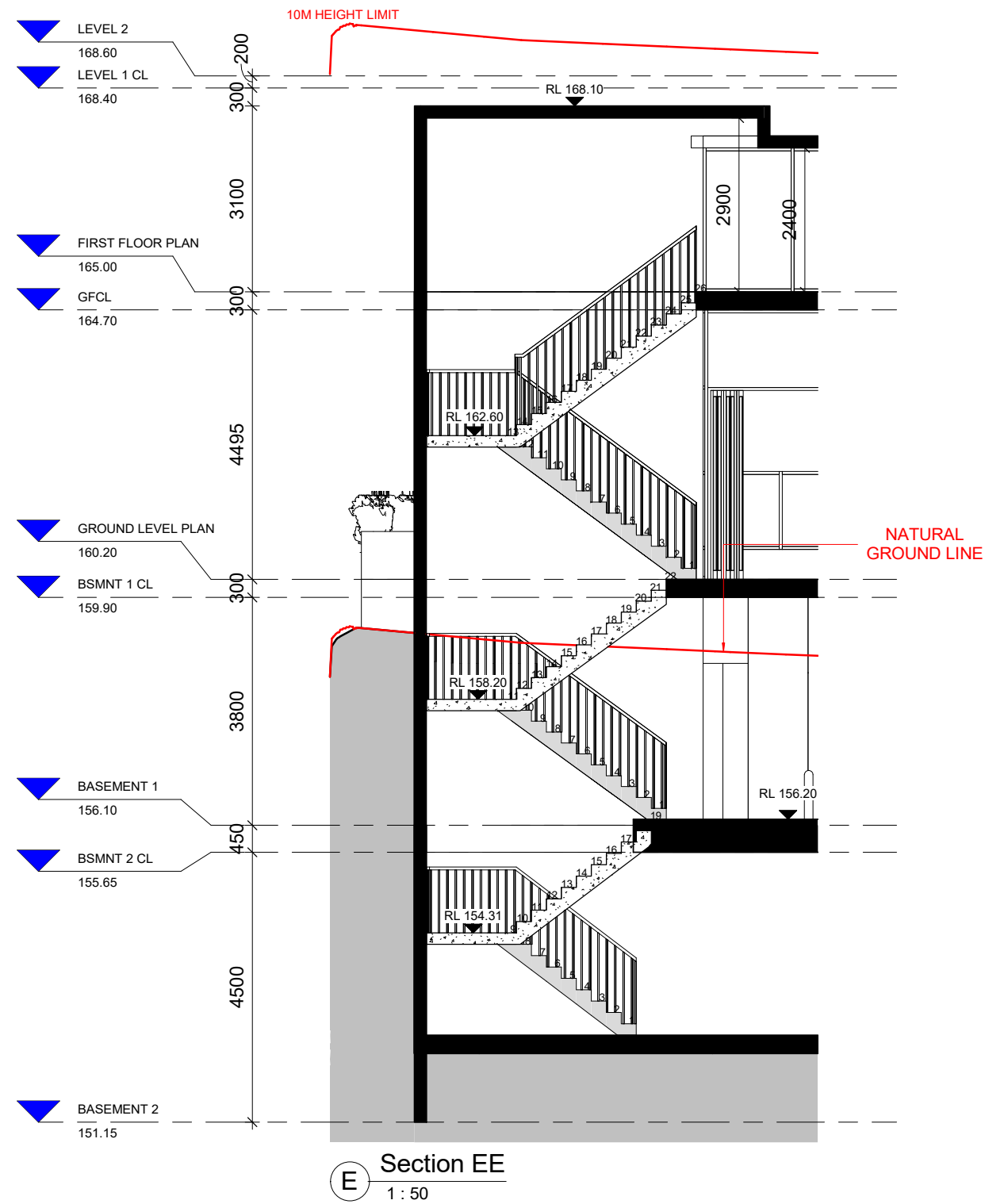
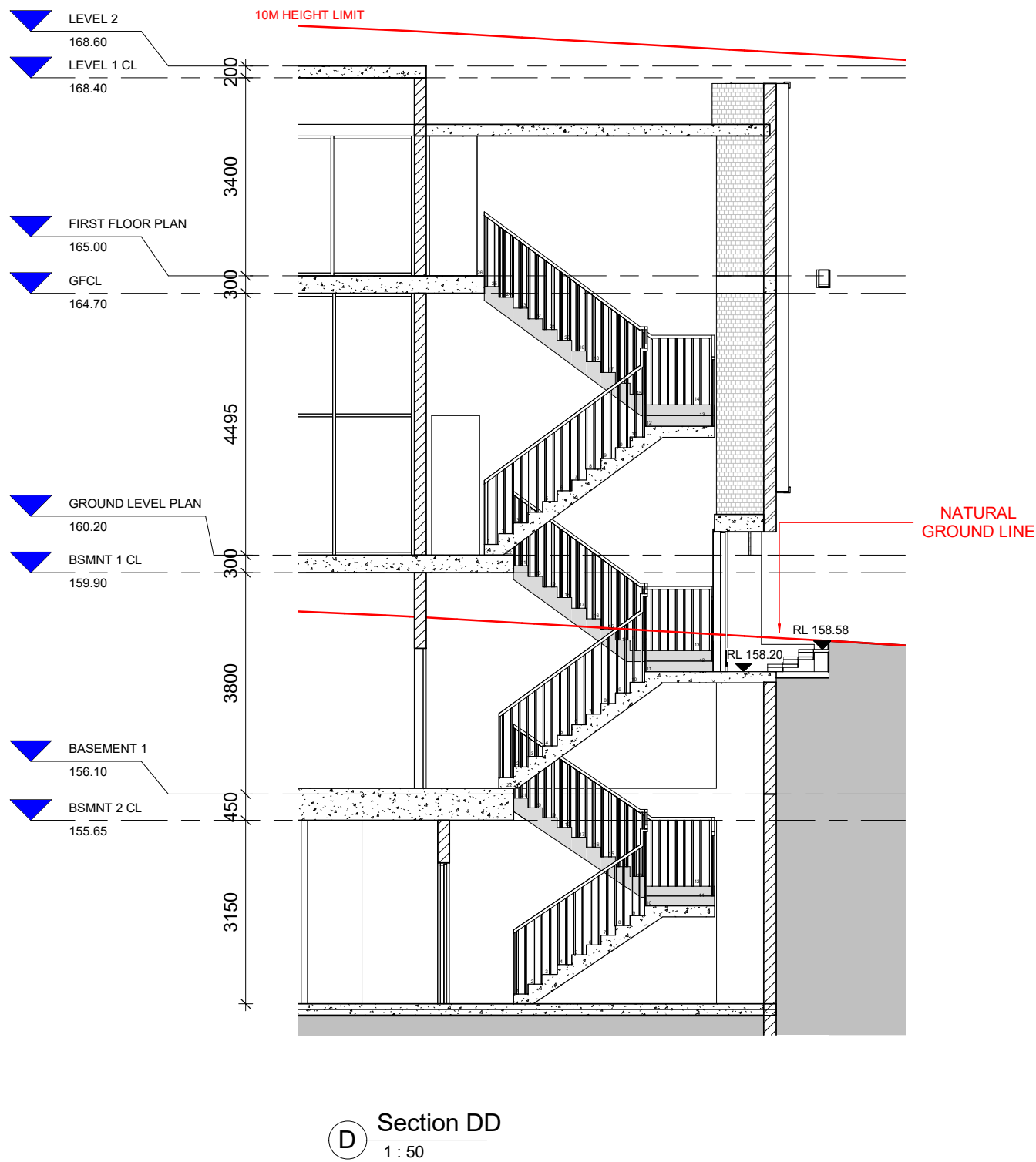
ISSUE
F

PROJECT

PROPOSED RETAIL &
SHOPPING CENTRE
87 OLD BELLS OF LINE OF
ROAD, KURRAJONG

JS Architects Pty Ltd
Suite 4.04, Level 4, No. 5 Celebration Drive
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W : www.jsarchitects.com.au
ABN 70 119 946 075
Nominated Architect: Symon Ochudzawa (RAIA 6865)

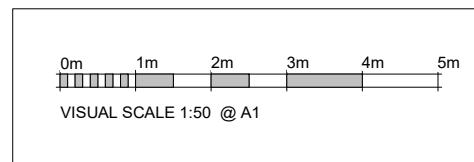




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ISSUE	DESCRIPTION	ISSUED BY	DRAWN BY	DATE
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KURMOND HOMES

DRAWING TITLE
SECTIONS

DATE
29 04 2022

SCALE @ A1
1 : 50

PROJECT NUMBER
015 / 20-21

DRAWING No.
A117

ISSUE
F

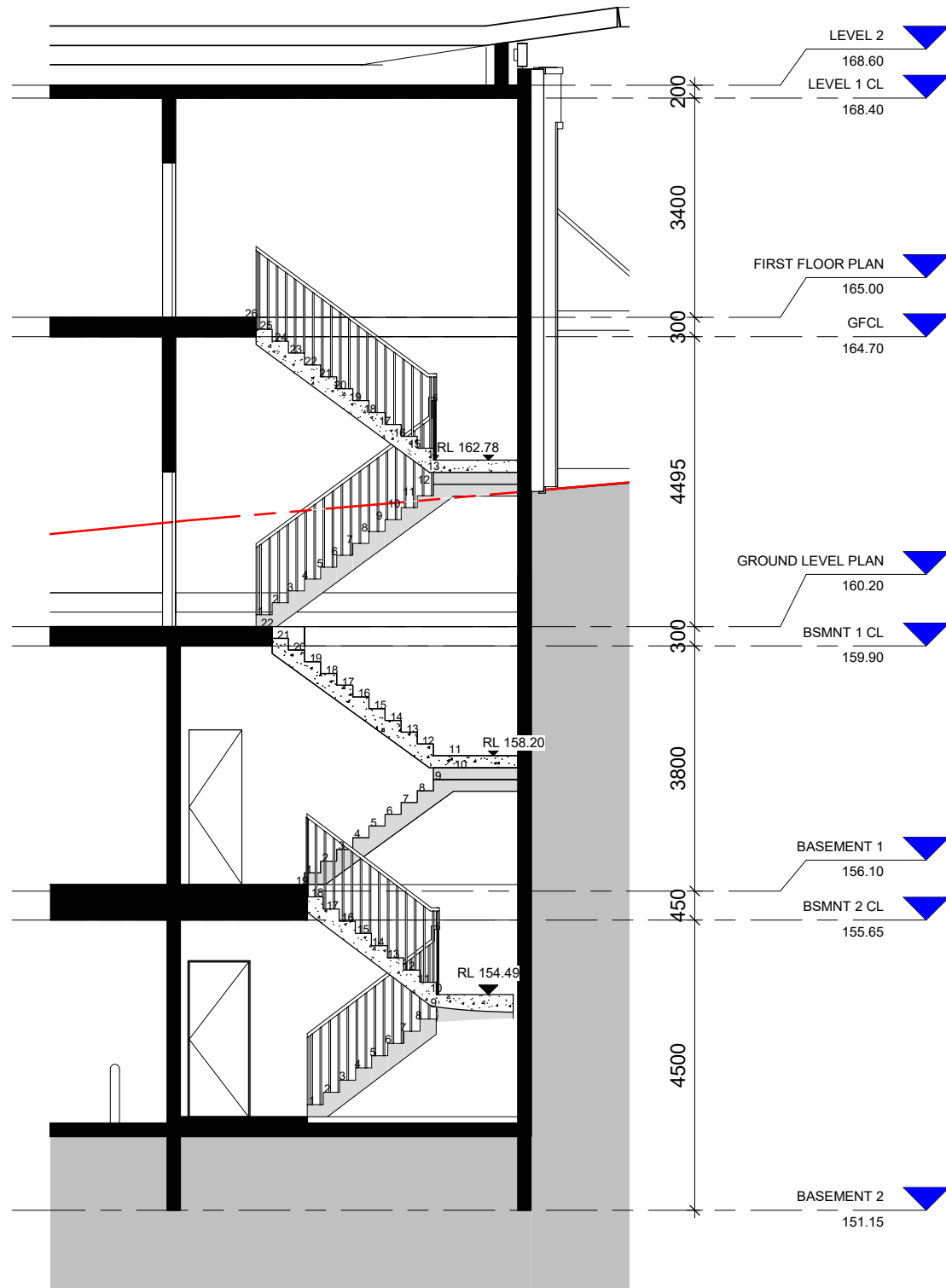
PROJECT

PROPOSED RETAIL &
SHOPPING CENTRE
87 OLD BELLS OF LINE OF
ROAD, KURRAJONG

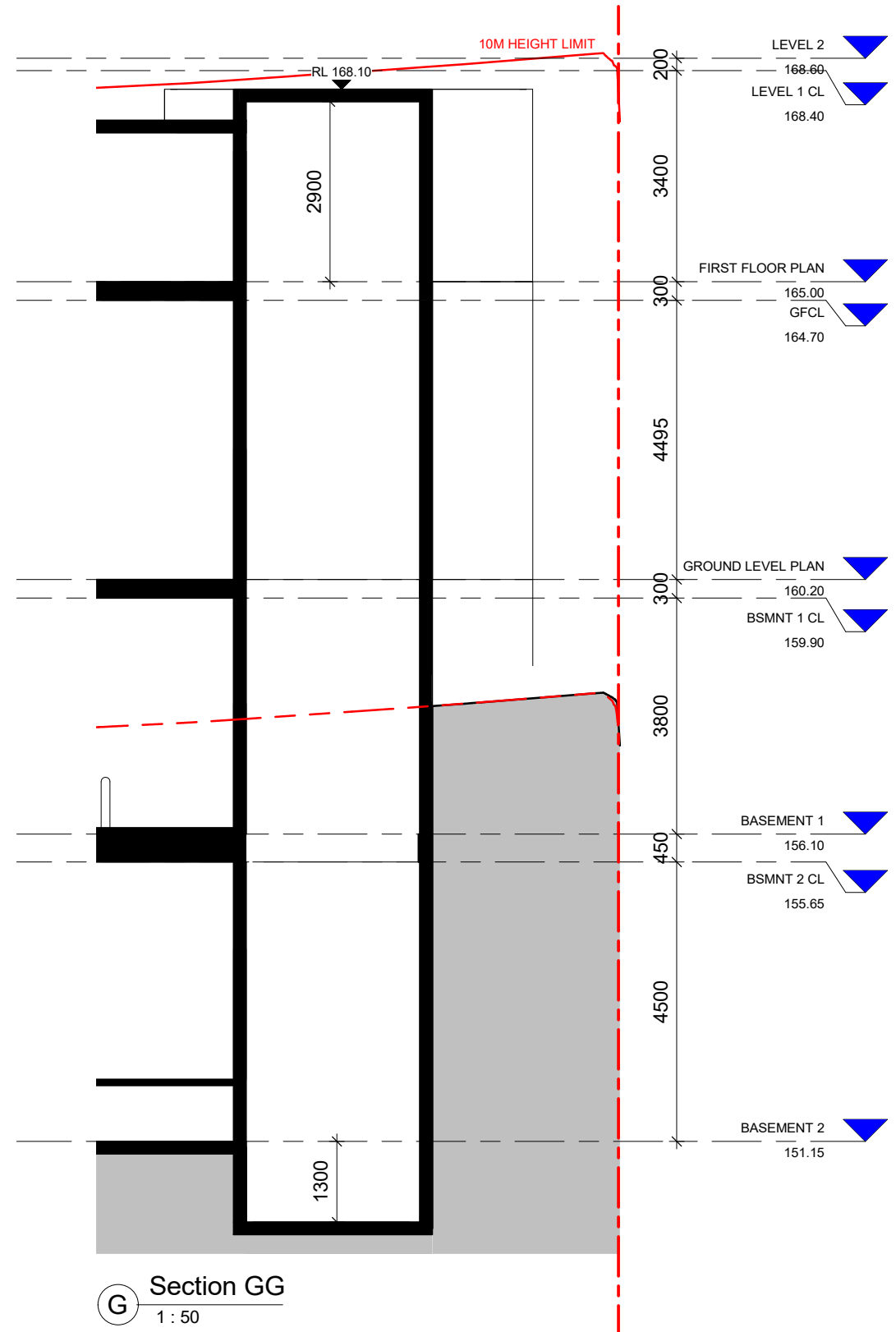
JS Architects Pty Ltd
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ABN 70 119 946 975
Nominated Architect: Szymon Ochudzawa (RAIA 6865)





F Section FF
1 : 50

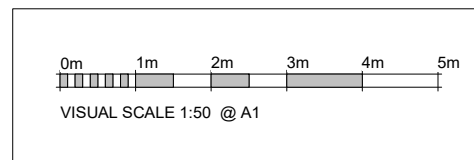


G Section GG
1 : 50

REVISION SCHEDULE

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KURMOND HOMES

DRAWING TITLE
SECTION

DATE
29 04 2022

SCALE @ A1
1 : 50

PROJECT NUMBER
015 / 20-21

DRAWING No.
A118

ISSUE
F

PROJECT

PROPOSED RETAIL &
SHOPPING CENTRE
87 OLD BELLS OF LINE OF
ROAD, KURRAJONG

JS Architects Pty Ltd
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W : www.jsarchitects.com.au
ABN 70 119 946 975
Nominated Architect: Szymon Ochudzawa (RAIA 6865)



DOOR SCHEDULE				
Mark	Level	Location	Width	Height
01	BASEMENT 2		920	2400
02	BASEMENT 2	STORE	820	2400
03	BASEMENT 2	STORE	820	2400
4	BASEMENT 2		820	2400
05	BASEMENT 2		920	2400
06	BASEMENT 2	CLEANRES STORE & BATHROOM	820	2400
49	BASEMENT 2		5800	4500
BASEMENT 2: 7				
07	BASEMENT 1	IT METERING + GAS	900	2400
08	BASEMENT 1	STORE ROOM	900	2400
09	BASEMENT 1	STORE	820	2400
10	BASEMENT 1	SUBSTATION	2500	2100
11	BASEMENT 1	SUBSTATION	2500	2100
12	BASEMENT 1	SUPERMARKET	820	2400
13	BASEMENT 1	FIRE STAIR 02	920	2400
14	BASEMENT 1	SUPERMARKET	820	2400
15	BASEMENT 1	SUPERMARKET	820	2400
16	BASEMENT 1	SUPERMARKET	3500	2700
17	BASEMENT 1	TROLLEY STORAGE	2000	2700
18	BASEMENT 1	SUB MAIN ELECTRICAL	2000	2700
19	BASEMENT 1		6000	4000
BASEMENT 1: 13				
20	GROUND LEVEL PLAN	FIRE STAIR 02	820	2400
21	GROUND LEVEL PLAN	RETAIL 2	2647	2400
23	GROUND LEVEL PLAN	LADIES TOILET	820	2400
24.	GROUND LEVEL PLAN	DISABLE	820	2400
25	GROUND LEVEL PLAN	GENTS TOILET	820	2400
26	GROUND LEVEL PLAN	FIRE STAIR 01	820	2400
27	GROUND LEVEL PLAN	FIRE STAIR 01	1000	2400
28	GROUND LEVEL PLAN	RETAIL 3	2507	2400
29	GROUND LEVEL PLAN	MAIN ENTRY	2950	2700
30	GROUND LEVEL PLAN	RETAIL 1	1055	2700
31	GROUND LEVEL PLAN	LOBBY	2400	2400
32	GROUND LEVEL PLAN	RETAIL 1	1399	2400
33	GROUND LEVEL PLAN	LOBBY	3975	3200
34	GROUND LEVEL PLAN	LOBBY	3975	3200
35	GROUND LEVEL PLAN	LOBBY	3275	3200
36	GROUND LEVEL PLAN	LOBBY	3275	3200
GROUND LEVEL PLAN: 16				
	FIRST FLOOR PLAN	TERRACE	2450	2400
41	FIRST FLOOR PLAN	RESTAURANT-03	9814	2400
42	FIRST FLOOR PLAN	RESTAURANT-03	6975	2325
43	FIRST FLOOR PLAN	FIRE STAIR 01	820	2400
44	FIRST FLOOR PLAN	RETAIL 4	2622	2400
45	FIRST FLOOR PLAN	RETAIL 5	2571	2400
46	FIRST FLOOR PLAN	RESTAURANT-02	9080	2400
48	FIRST FLOOR PLAN	FIRE STAIR 02	820	2400
51	FIRST FLOOR PLAN	TERRACE	5300	2400
FIRST FLOOR PLAN: 9				

CURTAIN WINDOW SCHEDULE			
Mark	Length	Unconnected Height	Comments
01	1617	3700	
02	12875	3700	
03	1726	3700	
04	8400	3195	
05	9565	3400	
06	2890	3400	
07	4255	3400	
08	3400	3400	
09	4423	3400	INCLUDING DOOR 32
10	2260	3400	INCLUDING DOOR 30
11	5007	3400	INCLUDING DOOR 29
12	3714	3400	INCLUDING DOOR 31
13	1878	3970	
14	3434	3970	
15	3500	3970	
16	7745	3970	INCLUDING DOOR 28
17	9200	4495	
18	9614	4495	INCLUDING DOOR 21
28	10039	3400	INCLUDING DOOR 41
29	7100	3400	INCLUDING DOOR 42
30	8116	3400	INCLUDING DOOR 44
31	3107	3400	
32	3435	2400	
33	3500	2400	
34	2260	3400	
35	8062	3400	INCLUDING DOOR 45
36	9305	3400	INCLUDING DOOR 46
37	9589	3400	INCLUDING DOOR 51
38	4423	2700	
39	3400	2400	
40	4260	2400	
41	14032	3700	
42	9568	2400	
44	9733	4495	INCLUDING DOOR 33,34
45	9804	4495	INCLUDING DOOR 35,36

REVISION SCHEDULE				
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(Dated-10 02 2022)				
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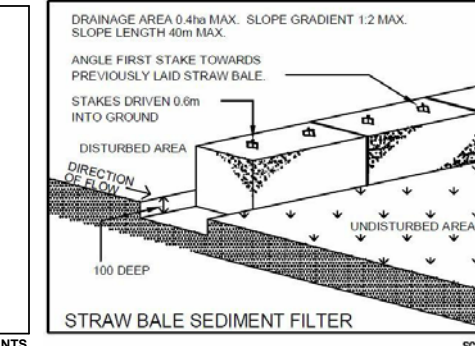
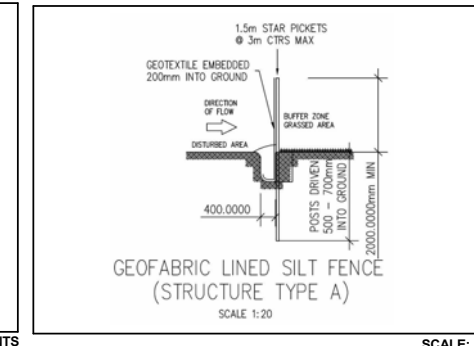
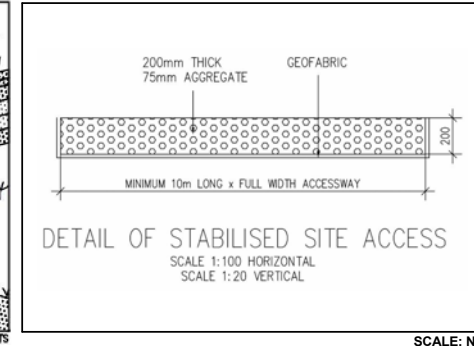
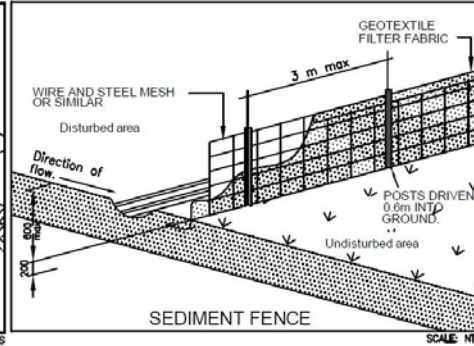
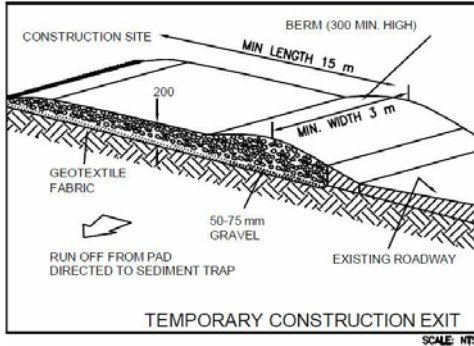
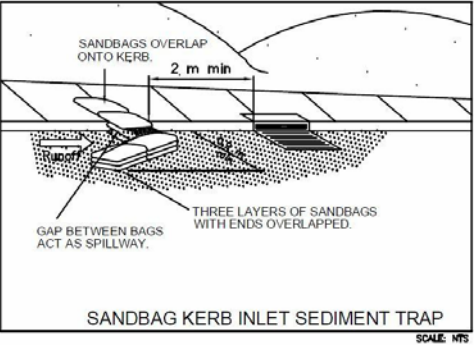
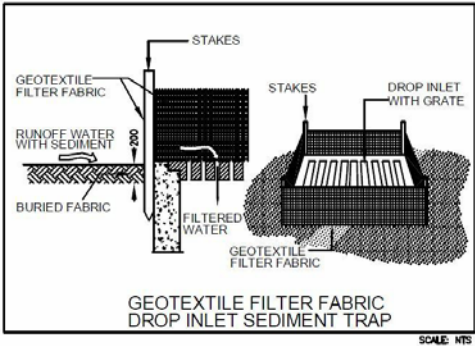
CONSULTANTS	PM	NORTH POINT	CLIENT	PROJECT
			KURMOND HOMES	PROPOSED RETAIL & SHOPPING CENTRE
			DRAWING TITLE	87 OLD BELLS OF LINE OF ROAD, KURRAJONG
			DOOR AND WINDOW SCHEDULE	
			DATE	SCALE @ A1
			29 04 2022	
			PROJECT NUMBER	DRAWING No.
			015 / 20-21	A119
			ISSUE	F
			THIS DRAWING ISSUE HAS BEEN REVIEWED BY	
			DIRECTOR - SO	
			JS Architects Pty Ltd	
			Suite 4.04, Level 4, No: 5 Celebration Drive	
			BELLA VISTA ~ NSW 2153 Australia	
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			E : info@jsarchitects.com.au	
			W : www.jsarchitects.com.au	
			ABN 70 119 946 575	
			Nominated Architect: Szymon Ochudzawa (RAIA 6865)	

GENERAL NOTES

1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS, STRUCTURAL DRAWINGS AND THE SPECIFICATON.
2. PRIOR TO COMMENCEMENT OF WORKS THE CONTRACTOR SHALL SATISFY HIMSELF OF THE CORRECT LOCATION OF EXISTING SERVICES WHETHER INDICATED OR NOT ON THE PLANS. ANY DAMAGE TO EXISTING SERVICES SHALL BE RECTIFIED AT THE CONTRACTORS EXPENSE.
3. TRAFFIC MANAGEMENT MEASURES HAVE TO BE IMPLEMENTED AND MAINTAINED DURING CONSTRUCTION, ALL IN ACCORDANCE WITH COUNCIL'S REQUIREMENTS. THE CONTRACTOR SHALL MAINTAIN SAFE PEDESTRIAN ACCESS ALONG THE FOOTPATH.
4. THE CONTRACTOR SHALL EFFECT TEMPORARY DRAINAGE MEASURES TO AVOID LOCALISED PONDING OF SURFACE RUN-OFF.
5. REFER TO ARCHITECT'S DRAWINGS FOR ALL DETAILS (LEVELS, GRADING ETC.) OF DRIVEWAYS, CONCRETE AND PAVED AREAS, AND RETAINING WALL TYPES AND LOCATIONS.
6. REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR DETAILS AND EXTENT OF ALL LANDSCAPED AREAS.
7. ALL SWD PIPES ARE UPVC AT 1.0% MINIMUM GRADE (UNO).
8. SWD PITS CAN BE PRE-CAST SIZED AS FOLLOWS: 450mm SQ. UP TO 600mm DEEP 600mm SQ. UP TO 1000mm DEEP
9. ALL PITS LOCATED IN TRAFFICABLE AREAS, (IE, DRIVEWAYS) TO HAVE MEDIUM DUTY GRATED COVERS SUITABLE FOR WITHSTANDING LOADS ASSOCIATED WITH SMALL TRUCKS.
10. PROVIDE STEP IRONS TO ALL PITS GREATER THAN 1.2m DEEP.
11. THE CONTRACTOR SHALL IMPLEMENT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO COMMENCEMENT OF WORKS.
12. TOPSOIL SHALL BE STRIPPED DN STOCKPILED OUTSIDE HAZARD AREAS SUCH AS DRAINAGE LINES. THIS TOPSOIL IS TO BE RESPREAD LATER ON AREAS TO BE REVEGETATED.
13. THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES. ALL SILT REMOVED SHALL BE DISPOSED OF AS DIRECTED BY THE SUPERINTENDENT. THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTIL ALL DISTURBED AREAS ARE REVEGETATED AND FURTHER AS MAY BE DIRECTED BY THE SUPERINTENDENT OR COUNCIL.
14. THE CONTRACTOR SHALL MAINTAIN DUST CONTROL UNTIL FINAL COMPLETION OF WORKS.

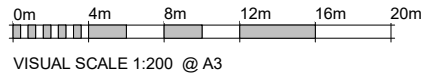
SEDIMENT CONTROL LEGENDS

- - SEDIMENT 1.8M FENCE
- ➔ - SITE ACCESS
- ☒ - SITE TOILETS
- ☒ - SITE SHED
- ☒ - STABILISED SITE ACCESS
- ▨ - MATERIAL STORAGE



REVISION SCHEDULE				
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F	AMENDMENTS AS PER COUNCIL LETTER (Dated-10 02 2022)	SO	AS	29 04 2022

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SEDIMENT CONTROL PLAN

DATE

29 04 2022

SCALE @ A1

As indicated

PROJECT NUMBER

015 / 20-21

DRAWING No.

A120

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PROJECT

PROPOSED RETAIL & SHOPPING CENTRE
87 OLD BELLS OF LINE OF ROAD, KURRAJONG

JS Architects Pty Ltd

Suite 4.04, Level 4, No. 5 Celebration Drive

BELLA VISTA ~ NSW 2153 Australia

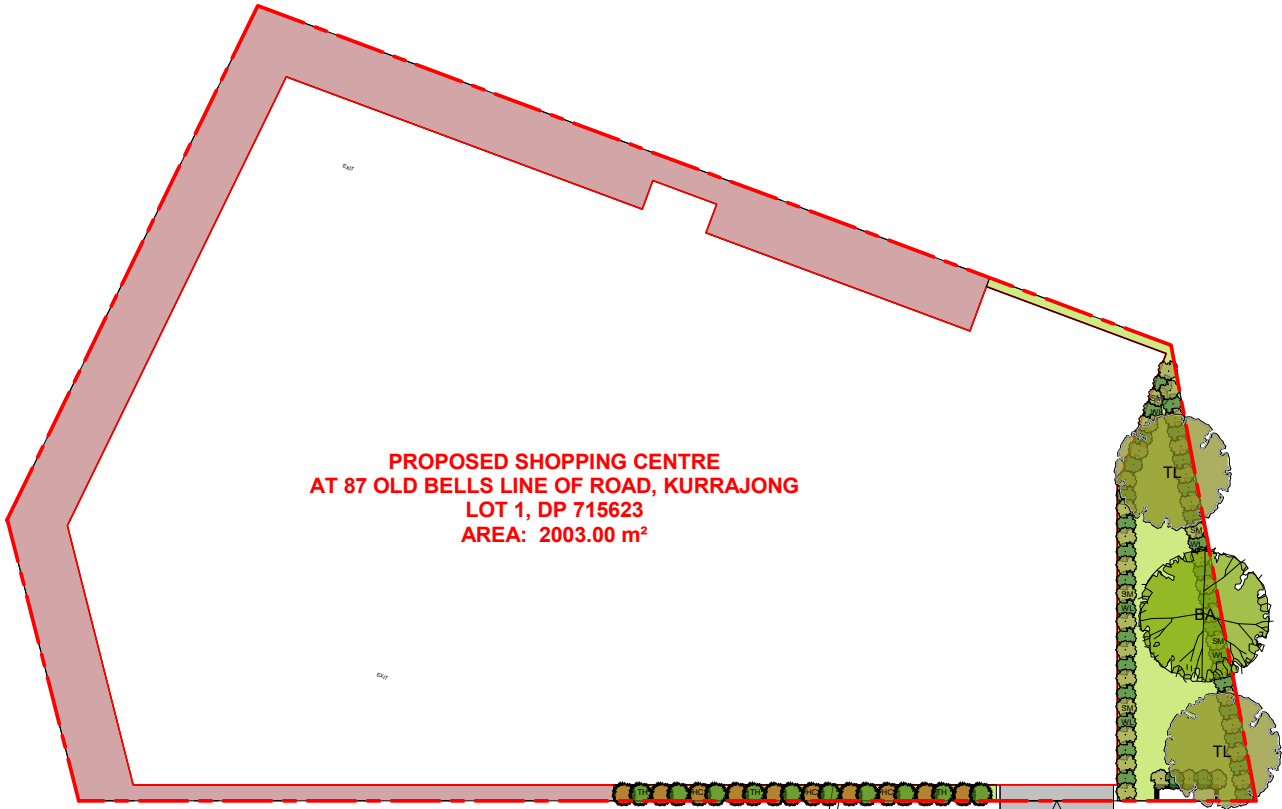
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E : info@jsarchitects.com.au

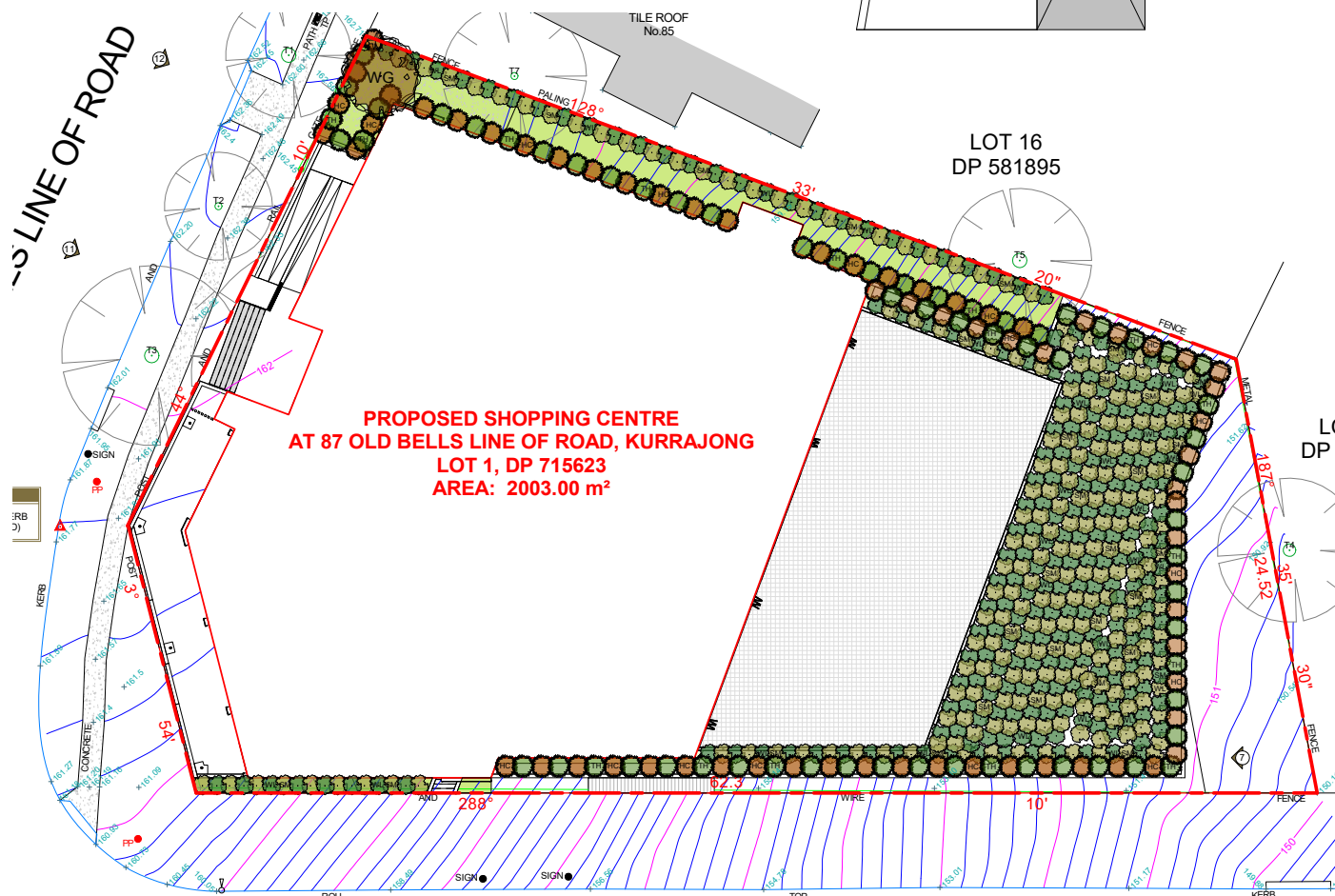
W : www.jsarchitects.com.au

ABN 70 119 946 975
Nominated Architect: Slaymon Ochudzawa (RAIA 6865)



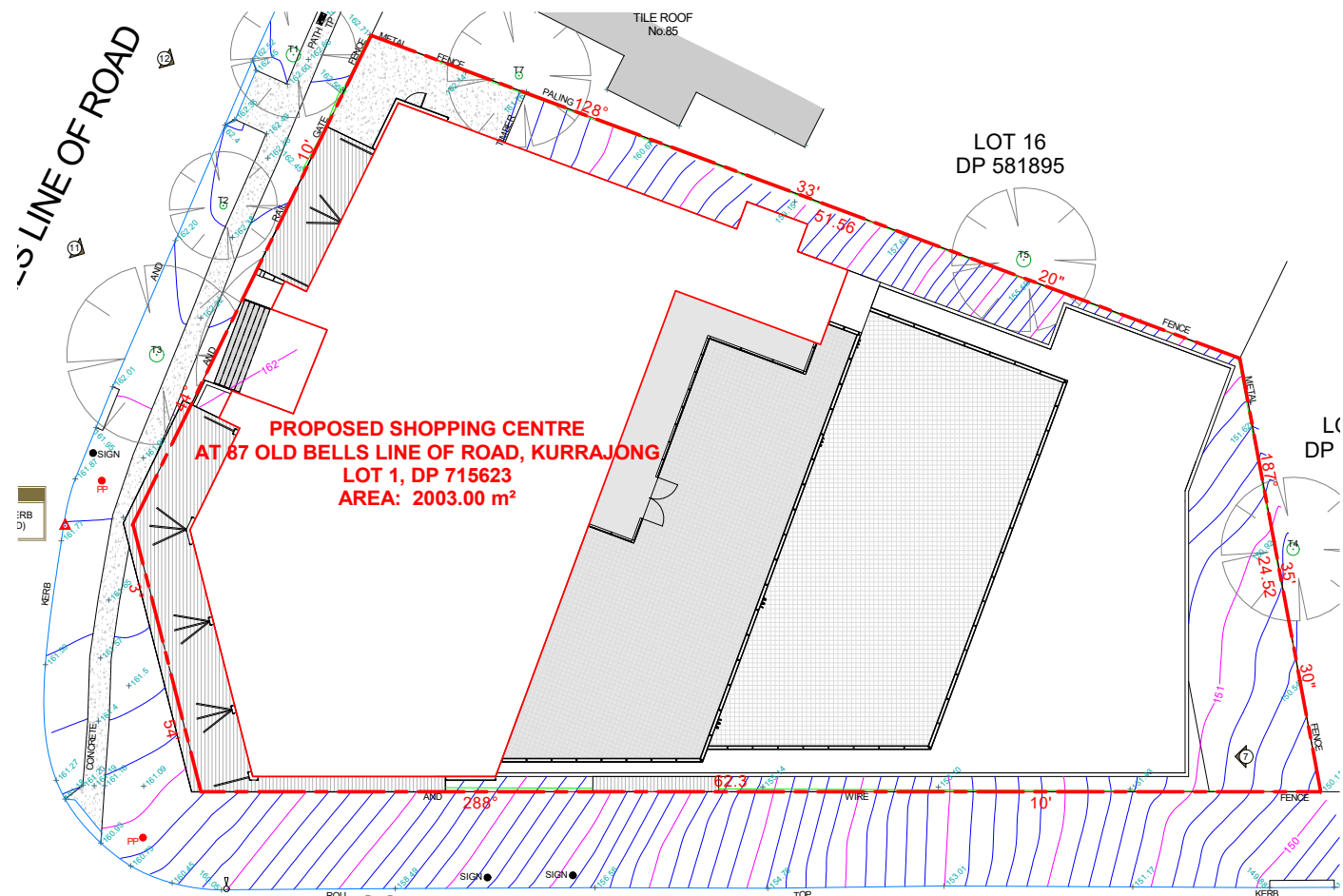


1 LANDSCAPE PLAN - BASEMENT 2 LEVEL
1 : 200



2 LANDSCAPE PLAN - GROUND FLOOR
1 : 200

Code	Latin Name (Common Name - Mature Height)	Qty	Size	Stake
Trees				
TL	Tristaniopsis Laurina (Water Gum - 4-8m)	2	75 litre	yes
BA	Brachychiton Acerifolious (Illawarra Flame Tree - 10x8m)	1	75 litre	yes
CG	Ceratopetulum Gummiferum (NSW Christmas Bush - 5-8m)	1	75 litre	yes
Shrubs				
WL	Westringia Longifolia (Snow Flurry - 2m x 1m)	161	10 litre	-
SM	Melaleuca Squa,ea (Swamp Honey Myrtle - 2m x 1.5m)	194	15 litre	-
HC	Correa Alba (White Correa - 1.5m x 1m)	66	15 litre	-
TH	Melaleuca Thymifolia (Thyme Honey Myrtle - 0.8m x 1.5m)	57	15 litre	-



3 LANDSCAPE PLAN - LEVEL 1
1 : 200

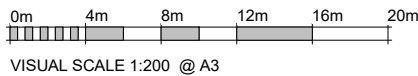
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LANDSCAPE PLAN

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ABN 70 119 946 575
Nominated Architect: Stymon Ochudzawa (RAIA 6865)





WL - SNOW FLURRY
WESTRINGIA LONGIFOLIA



SM - SWAMP HONEY MYRTLE
MELALEUCA SQUAMEA



TH - THYME HONEY MYRTLE
MELALEUCA THYMIFOLIA



HC - WHITE CORREA
CORREA ALBA



TL - WATER GUM
TRISTANIOPSIS LAURINA

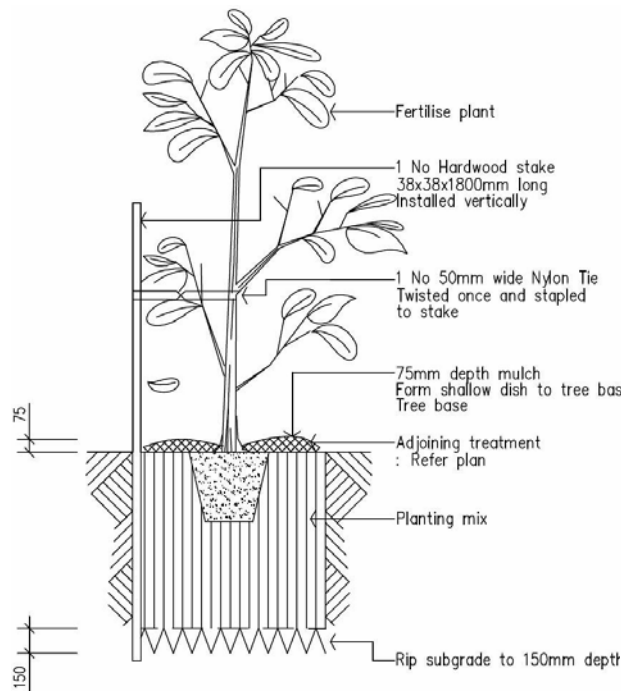


WG - NSW CHRISTMAS BUSH
WATER GUM

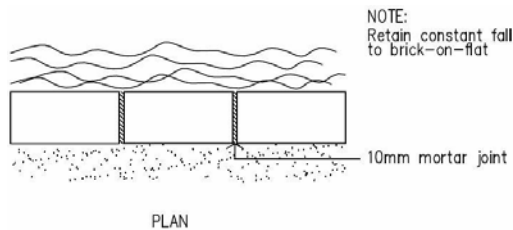


BA - ILLAWARRA FLAME TREE
BRACHYCHITON ACERIFOLIUM

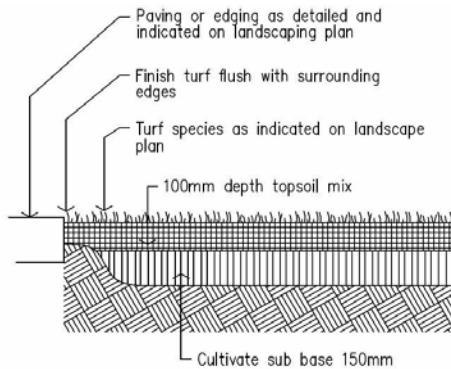
LANDSCAPE DETAILS



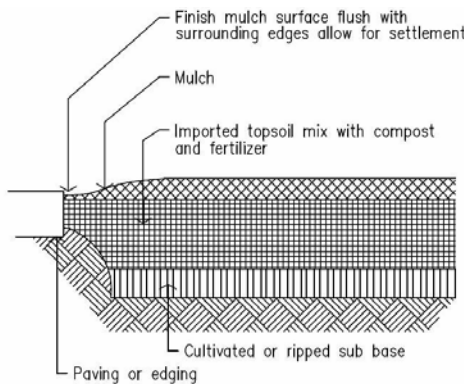
15 – 35 litre Tree planting
Detail. Not.To.Scale.



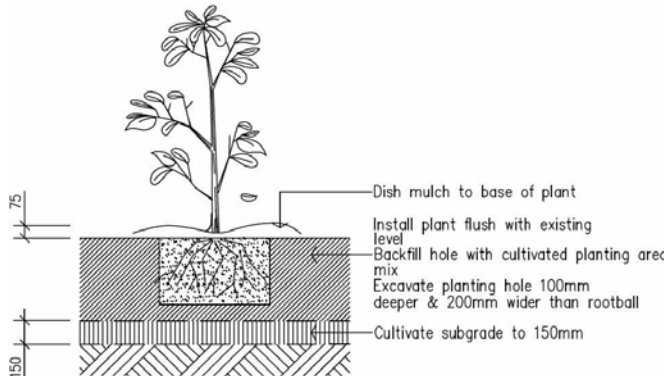
Brick garden edge
Detail.



Ground preparation
Grassed area: turf using imported topsoil
Detail. Not.To.Scale.



Ground preparation
Planting area using imported topsoil
Detail. Not.To.Scale.



Planting in garden beds
Detail. Not.To.Scale.

LANDSCAPE OUTLINE SPECIFICATION:

1: SITE PREPARATION

Prior to the commencement of any site landscape works, remove all building rubbish and debris from the site, remove all weed growth and unwanted remnant plant material. Do not bury surplus building material on the site. Form up all ground surfaces, allowing for grades for drainage as required, and to levels allowing for landscape preparation and finishes to proceed. Allow for supplementary and introduced topsoils as later specified, to achieve finished levels. Build up, and / or reduce formation levels to enable landscape finishes to be finished off flush with pits, pathways, kerbs, and garden edging.

To garden areas, including mulched zones around trees in lawn, including street trees, deep rip and cultivate all material, as found, to a mean depth of 300 mm. To lawn areas, reduce ripping and cultivation to a depth of 100 mm. All cultivated material shall be reduced to a fine tilth; in the process of cultivation, remove all stones and excess clay underburden sufficient to allow for introduced topsoil specified below.

To garden areas, supplement cultivated soils with introduced topsoil mix comprising 40% coarse river sand, 30% composted hardwood fines, or equal composting, and 30% fine loam. Imported topsoil shall have a pH in the range 5.5 - 7.0. This imported material shall be added to garden areas at a rate of the equivalent of a 100 mm thick layer of material placed over the whole of the cultivated area. Introduced material shall be mixed into cultivated site soil to create a mix of site and imported soil, to a mean depth of 300 mm. All building up to levels or bulk fill shall be carried out in introduced material.

NOTE: Where mulched beds are to be formed around an existing tree, or group of existing trees, preparation shall be limited to the following works:

- Within the critical root zone, (ie a distance from the tree having a radius 5 times the trunk diameter) remove all weed and grass growth.
 - Limit cultivation to a depth of 150mm, and carry out all cultivation works BY HAND ensuring that major tree roots near the surface are not damaged.
 - Soil supplementation shall be limited to addition of Gypsum only.
 - Mulch as later specified.
- Areas to be turfed shall be graded after cultivation to create an even surface ready to receive screeding and turf, as specified below. In grading, allow for all falls to drainage outlets as required to allow for free drainage of the turfed zones, and for drainage to pits, as required. Following grading, provide and lay a screeded topsoil mix comprising 50% loam, 40% coarse sand and 10% dried and shredded fowl manure.

2: TURFING

Screeding shall be laid to a mean depth of 20 mm and shall be screed board levelled to an even surface, and to required falls, ready to receive turf. Damp down with a fine spray immediately prior to the placement of turf.

Turf shall be Evergreen Buffalo "Matilda", supplied as rolls, placed without joints in the prepared screed material. Deep water turf immediately following placement, and light roll surface following watering, levelling out any uneven zones.

3: EDGING

Edging to turfed and / or gravel paved areas, where they abut garden areas shall be selected clay paver. Bricks are to be laid in a continuous mortar bed of sufficient depth the prevent horizontal distortion and haunched to prevent lateral movement of edging. Lay bricks with flushed mortar joints. Edging shall be finished flush with adjacent turf. Where any length of edging exceeds 6 metres provide full expansion joints (edging and bedding) at 6m centres.

4: PLANTING

Plant out all plant materials to the set out noted on the drawings, and to the quantity, size and species scheduled. Remove all plants from nursery containers, dig out planting holes to the depth of the container, plus 25 mm, and to double the diameter of the container. Typically place plants 20 -25 below adjacent finished ground level, and backfill allowing for no voids, and to form localised dishing around each plant. Place plants into dampened soil, and deep water immediately following planting.

Mulch all planter areas within 24 hours of planting, taking care that mulch is placed free from plant stems.

Vegetative mulch shall comprise weed free leaf litter material, laid to a mean depth of 75 mm. Gravel mulch shall be Nepean River Gravel or approved equal rounded river gravel, graded to pass 12mm and 6mm (max / min) sieve and placed in a layer 40mm thick.

5: STAKING AND TYING

Stake and tie all plants scheduled, and all plants supplied in 25 litre, or greater size containers. Stakes shall be 37 x 37 x 1800 long hardwood stakes, 1800 long, and embedded 400 mm. Ties shall be hessian, or equal non -abrasive material, securely fixed to stakes, and looped around plant stems in a figure of eight pattern. Ties shall be set at the approximate half height of each plant, and shall be adjusted such that lateral growth is not disturbed.

6: MAINTENANCE AND ESTABLISHMENT

The maintenance and establishment period shall be not less than six months. The following works shall be carried out as regular routine, with attendances to be carried out to meet minimum watering requirements.

6.1: Regularly deep water all areas. Turf shall be watered at minimum intervals of twice per week until turf has achieved a height of 50mm above planted height at which time initial mowing shall be carried out. Turf shall be regularly mown and watered thereafter. All grass clippings shall be removed from the site. Mulched areas shall be deep watered at minimum intervals of one week.

6.2: Replace any plants that do not progress, or die, during the maintenance period.

6.3: Keep all grassing and planted zones in a weed free condition; treat all plants which suffer disease or insect infestation within this period.

7: PROTECTION OF TREES RETAINED ON AND ADJACENT TO SITE

Existing trees so indicated shall be retained. The trees shall be protected for the period of construction by the erection of a fence not less than 1800 high, set out 5 times the stem diameter of the tree, or 3 metres clear of the tree, whichever is the greater. Where existing protection fencing exists, it shall be maintained. The protected zone within this fence shall not be interfered with in any way during construction; the protected area shall be mulched at the time of erection of the protection fences with leaf litter mulch to a thickness of 75 mm and the fenced zone shall be regularly watered. Finishing landscape works within these areas shall be carried out on ground levels as found, with minimum cultivation. Provide similar protection to primary root zones of trees on adjoining properties where root zones project into the property.

8: LANDSCAPE CONSTRUCTION IN PLANTER BOXES AND ON SUSPENDED CONCRETE SLABS

Landscape construction works including drainage base, filters, sand and topsoil filling all shall be carried out as detailed and annotated on this drawing. No works shall be carried out on slabs and within planter boxes until all drainage installations have been checked to ensure that no water is held on slabs. Any ponding shall be removed prior to commencement of filling.

9: WEED ERADICATION

Parts of this site, are infested with Bamboo and Hedera species. The eradication of these weeds is to be carried out progressively throughout the period of construction. Except where excavation works for buildings necessitates bulk excavation of these plants, each outbreak of the plants shall be progressively eradicated by progressive applications encountered. Applications of weedicides selected for the specific weeds weedicides shall be carried out strictly in accordance with the manufacturer's directions and in accordance with any safe working requirements applicable to the construction site and to adjoining sites.

LANDSCAPE LEGEND



Existing street trees to be
protected & retained



Existing trees to be removed



Stepping stones paving



Site boundary



Design levels



Existing levels



Proposed large canopy tree
planting (refer to proposed plant
schedule)



Pebbles



Proposed conc.paving
(driveway)



Proposed turf area



Proposed shrub planting with
mulch to base of plant (refer to
proposed plant schedule)

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LANDSCAPE DETAILS

DATE

29 04 2022

SCALE @ A1

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PROJECT NUMBER

015 / 20-21

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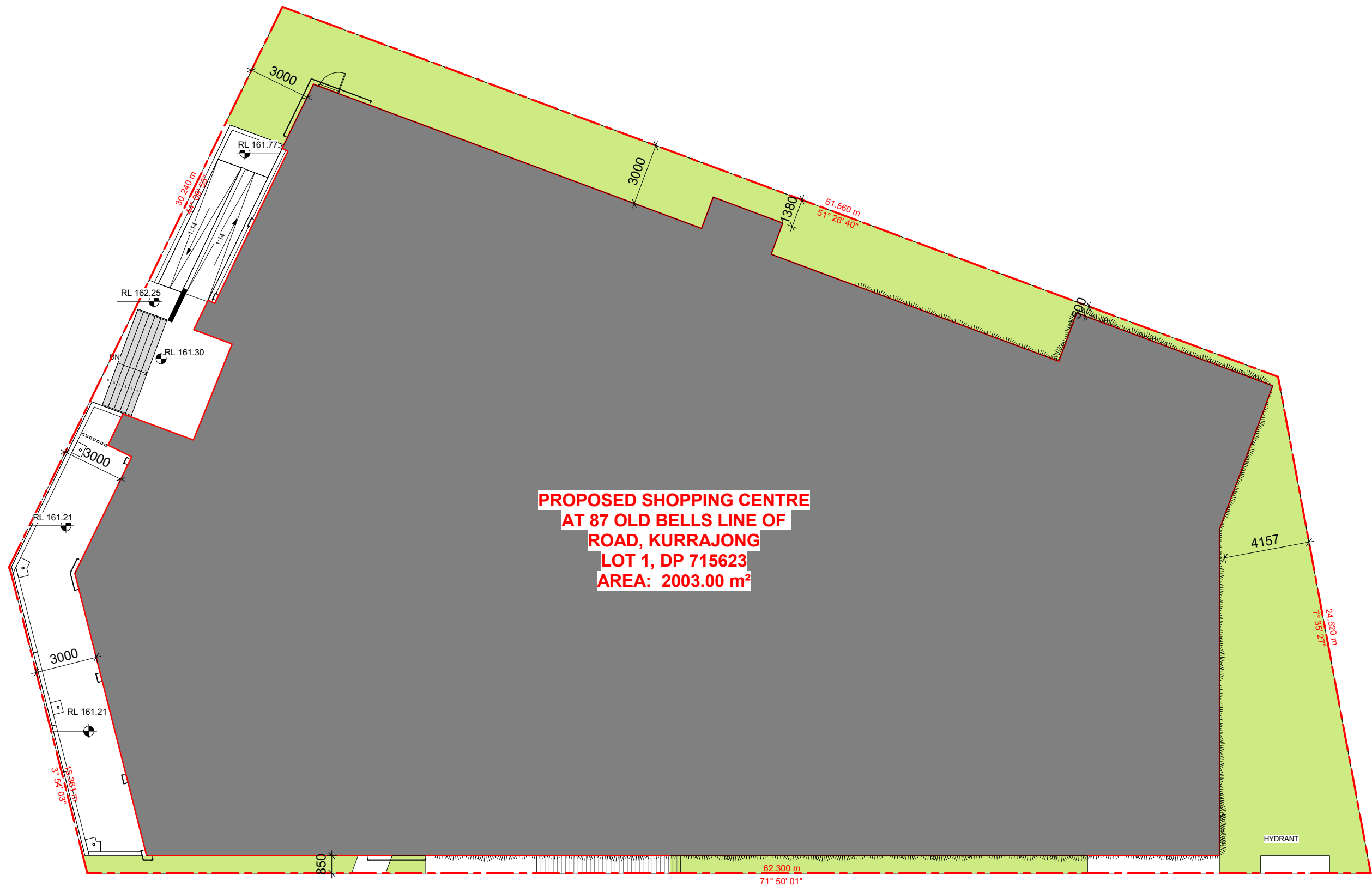
PROJECT

PROPOSED RETAIL &
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87 OLD BELLS OF LINE OF
ROAD, KURRAJONG

JS Architects Pty Ltd

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ABN 70 119 946 575
Nominated Architect: Stymon Ochudzawa (RAIA 6866)





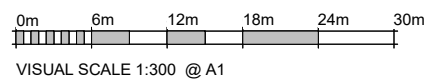
1 DEEP SOIL ZONE
1 : 100

DEEP SOIL ZONE - 273.15 m² (13.63%)

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DEEP SOIL ZONE DIAGRAM

DATE
29 04 2022

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1 : 100

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A123

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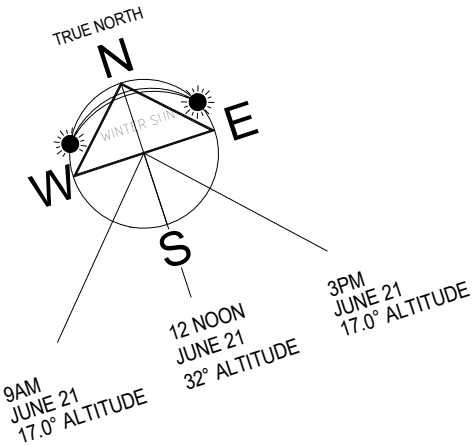
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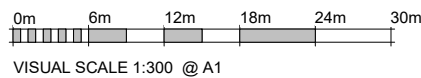


SUN ANGLE INFORMATION		
Winter Solstice On June 21st		
TIME	ALTITUDE	AZIMUTH
9 AM	17 °	42° E OF N
12 NOON	32 °	0° NORTH
3 PM	17 °	42° W OF N

1 SHADOW DIAGRAM 21ST JUNE @9AM
1 : 300

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SHADOW DIAGRAM 21ST JUNE @9AM

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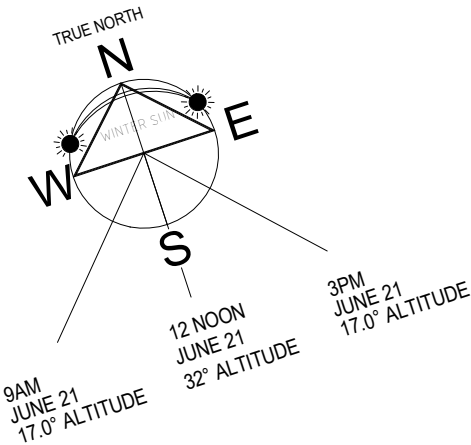
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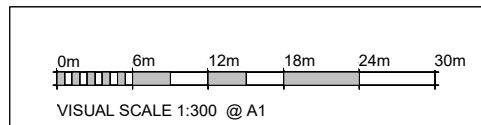


SUN ANGLE INFORMATION		
Winter Solstice On June 21st		
TIME	ALTITUDE	AZIMUTH
9 AM	17 °	42° E OF N
12 NOON	32 °	0° NORTH
3 PM	17 °	42° W OF N

1 SHADOW DIAGRAM 21ST JUNE @10AM
1 : 300

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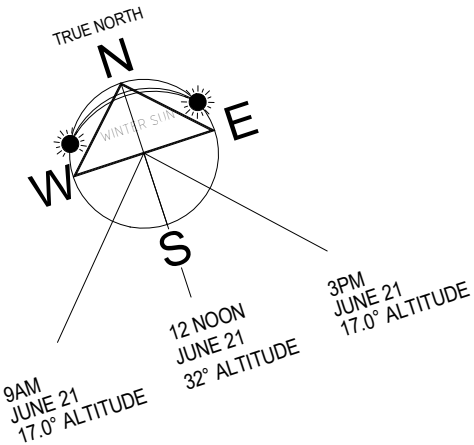
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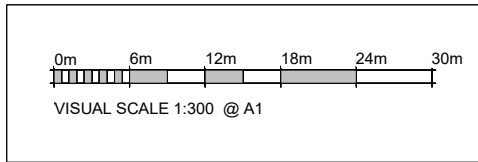


SUN ANGLE INFORMATION		
Winter Solstice On June 21st		
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3 PM	17 °	42° W OF N

1 SHADOW DIAGRAM 21ST JUNE @11AM
1 : 300

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CLIENT

KURMOND HOMES

DRAWING TITLE

SHADOW DIAGRAM 21ST JUNE @11AM

DATE

29 04 2022

SCALE @ A1

As indicated

PROJECT NUMBER

015 / 20-21

DRAWING No.

A126

ISSUE

F

PROJECT

PROPOSED RETAIL & SHOPPING CENTRE
87 OLD BELLS OF LINE OF ROAD, KURRAJONG

JS Architects Pty Ltd

Suite 4.04, Level 4, No: 5 Celebration Drive
BELLA VISTA ~ NSW 2153 Australia

T : 61 2 8814-6991 FAX: 61 2 8814-6992

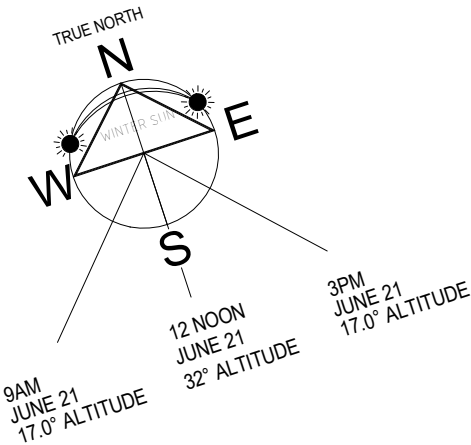
M : 61 412 06 06 04

E : info@jsarchitects.com.au

W : www.jsarchitects.com.au

ABN 70 119 946 575
Nominated Architect: Stymon Ochudzawa (RAIA 6865)



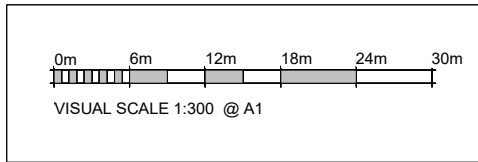


SUN ANGLE INFORMATION		
Winter Solstice On June 21st		
TIME	ALTITUDE	AZIMUTH
9 AM	17 °	42° E OF N
12 NOON	32 °	0° NORTH
3 PM	17 °	42° W OF N

1 SHADOW DIAGRAM 21ST JUNE @12PM
1 : 300

REVISION SCHEDULE			
ISSUE	DESCRIPTION	ISSUED BY	DRAWN BY DATE
A	FOR CLIENT REVIEW	SO	MO 30 04 2021
B	FOR CLIENT REVIEW	SO	MO 04 05 2021
C	FOR CLIENT REVIEW	SO	MO 27 05 2021
D	FOR CLIENT REVIEW	SO	MO 13 07 2021
E	GENERAL AMENDMENTS	SO	MO 15 07 2021
F	AMENDMENTS AS PER COUNCIL LETTER (Dated-10 02 2022)	SO	AS 29 04 2022

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SHADOW DIAGRAM 21ST JUNE @12PM

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29 04 2022

SCALE @ A1

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PROJECT NUMBER

015 / 20-21

DRAWING No.

A127

ISSUE

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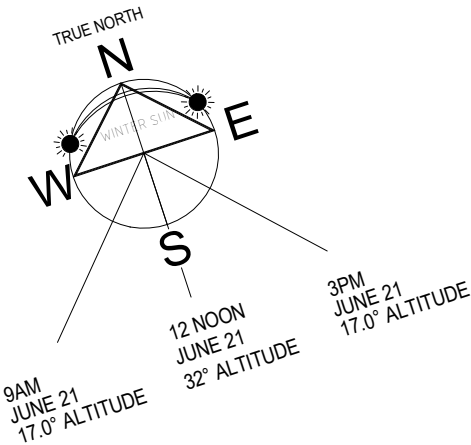
PROJECT

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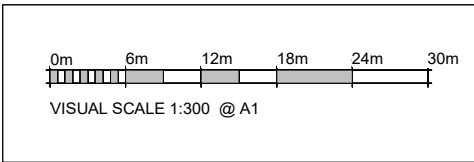


SUN ANGLE INFORMATION		
Winter Solstice On June 21st		
TIME	ALTITUDE	AZIMUTH
9 AM	17 °	42° E OF N
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3 PM	17 °	42° W OF N

1 SHADOW DIAGRAM 21ST JUNE @1PM
1 : 300

REVISION SCHEDULE			
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SHADOW DIAGRAM 21ST JUNE @1PM

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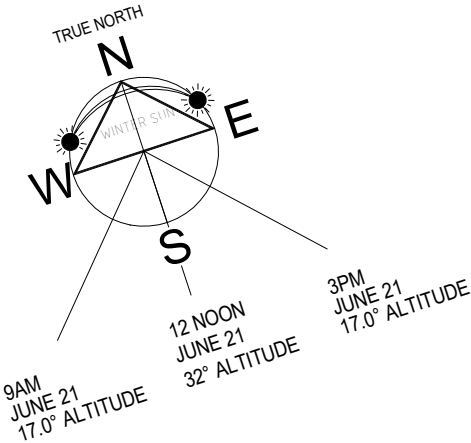
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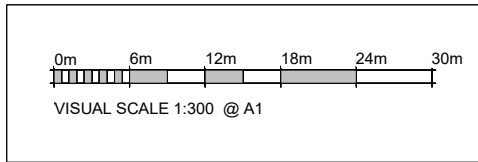


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Winter Solstice On June 21st		
TIME	ALTITUDE	AZIMUTH
9 AM	17 °	42° E OF N
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3 PM	17 °	42° W OF N

1 SHADOW DIAGRAM 21ST JUNE @2PM
1 : 300

REVISION SCHEDULE			
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SHADOW DIAGRAM 21ST JUNE @2PM

DATE

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SCALE @ A1

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87 OLD BELLS OF LINE OF ROAD, KURRAJONG

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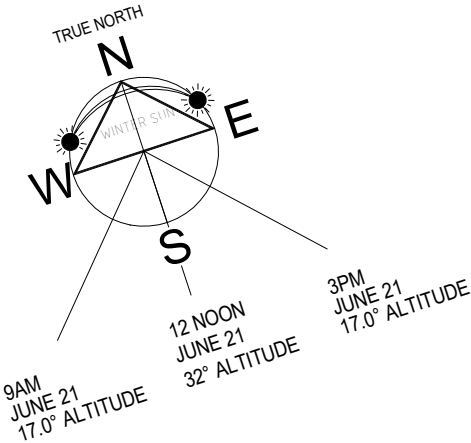
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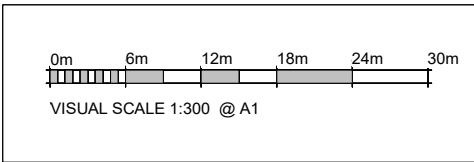


SUN ANGLE INFORMATION		
Winter Solstice On June 21st		
TIME	ALTITUDE	AZIMUTH
9 AM	17 °	42° E OF N
12 NOON	32 °	0° NORTH
3 PM	17 °	42° W OF N

1 SHADOW DIAGRAM 21ST JUNE @3PM
1 : 300

REVISION SCHEDULE			
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SHADOW DIAGRAM 21ST JUNE @3PM

DATE

29 04 2022

SCALE @ A1

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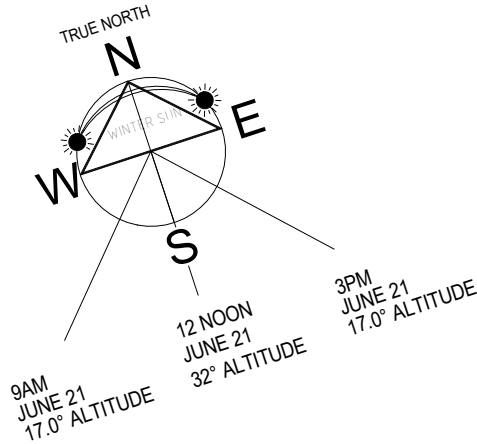
ABN 70 119 946 575
Nominated Architect: Stymon Ochudzawa (RAIA 6866)





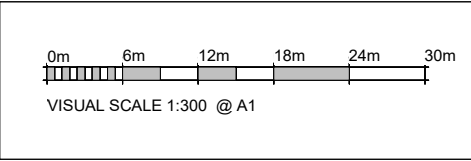
1 SHADOW DIAGRAM 21ST JUNE @4PM
1 : 300

SUN ANGLE INFORMATION		
Winter Solstice On June 21st		
TIME	ALTITUDE	AZIMUTH
9 AM	17 °	42°E OF N
12 NOON	32 °	0° NORTH
3 PM	17 °	42°W OF N



REVISION SCHEDULE			
ISSUE	DESCRIPTION	ISSUED BY	DRAWN BY DATE
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DRAWING TITLE

SHADOW DIAGRAM 21ST JUNE @4PM

DATE

29 04 2022

SCALE @ A1

As indicated

PROJECT NUMBER

015 / 20-21

DRAWING No.

A131

ISSUE

F

PROJECT

PROPOSED RETAIL &
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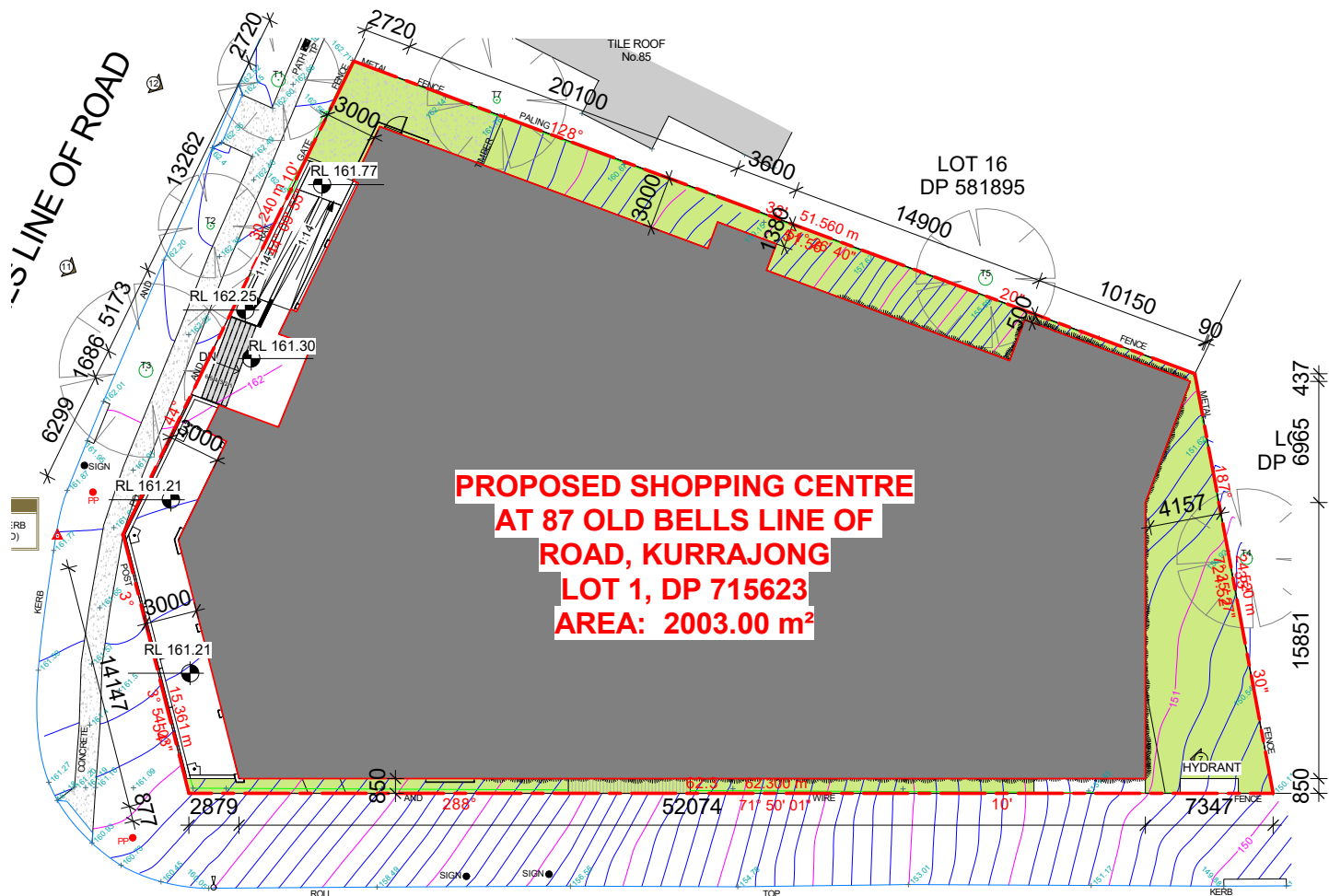
M : 61 412 06 06 04

E : info@jsarchitects.com.au

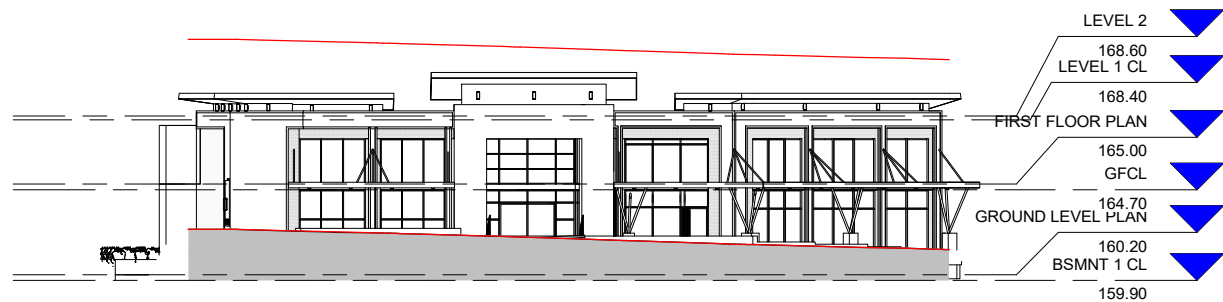
W : www.jsarchitects.com.au

ABN 70 119 946 575
Nominated Architect: Stymon Ochudzawa (RAIA 6866)

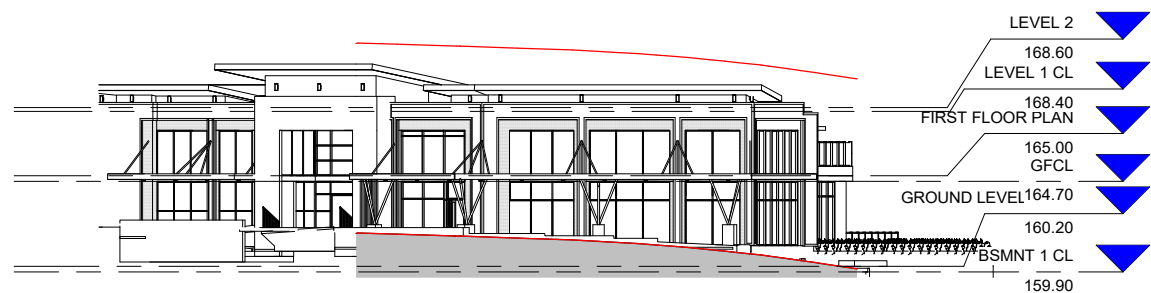




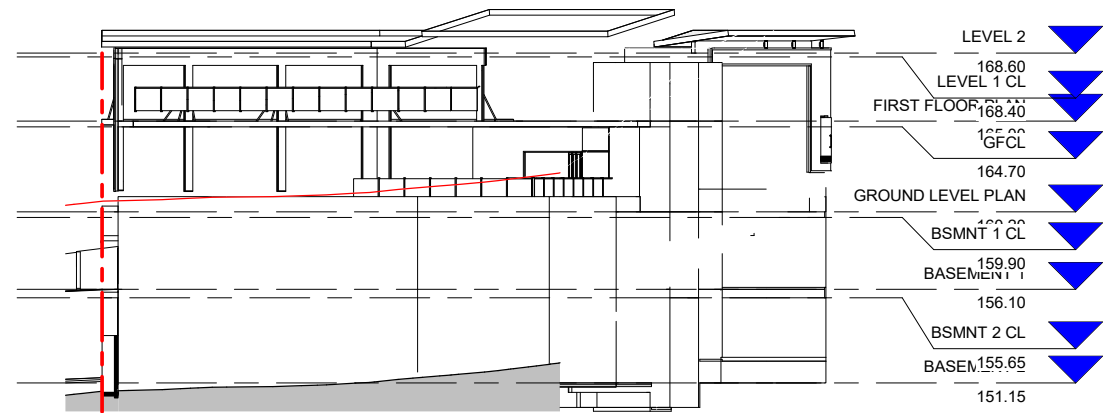
1 SITE PLAN - NOTIFICATION
1 : 200



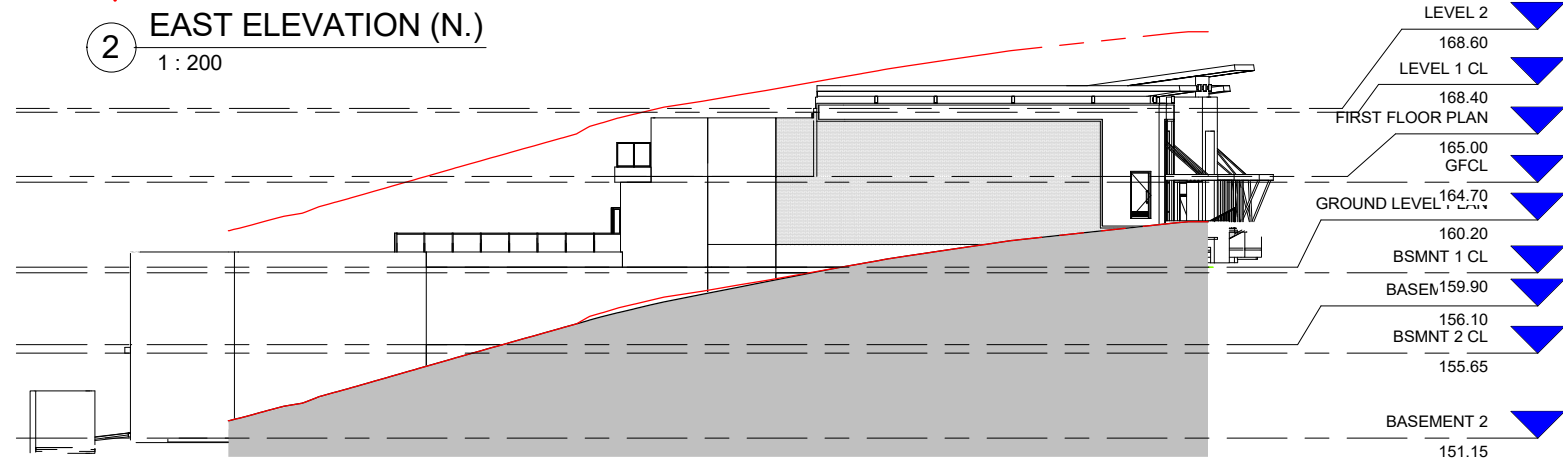
4 NORTH - WEST ELEVATION (N.)
1 : 200



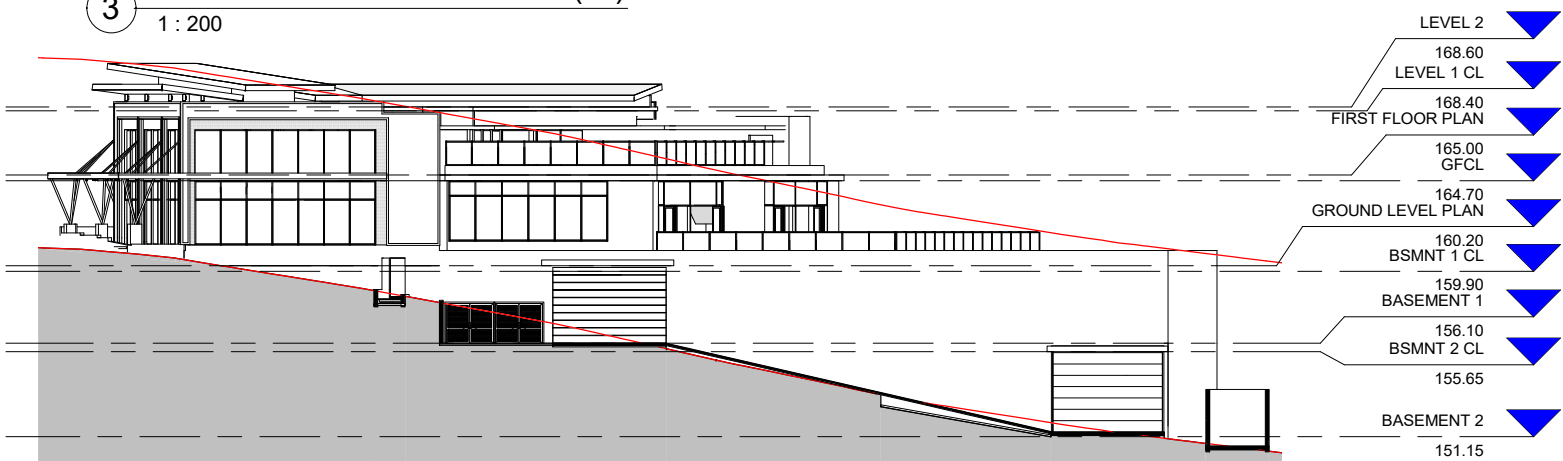
5 SOUTH - WEST ELEVATION (N.)
1 : 200



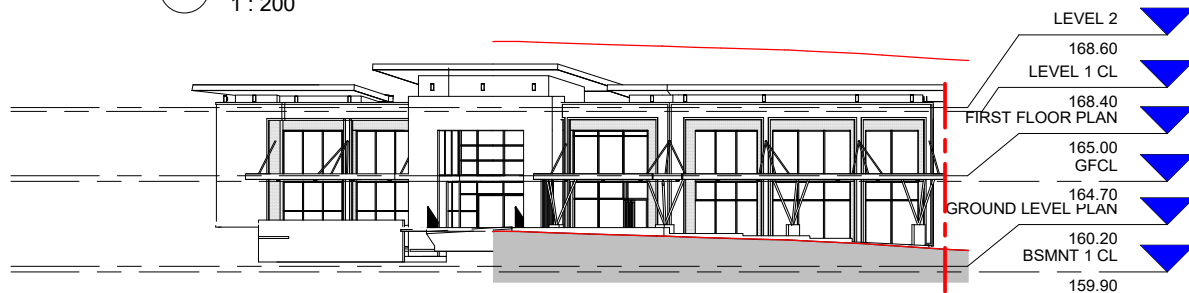
2 EAST ELEVATION (N.)
1 : 200



3 NORTH - EAST ELEVATION (N.)
1 : 200



6 SOUTH ELEVATION (N.)
1 : 200



7 TRUE WEST ELEVATION (N.)
1 : 200

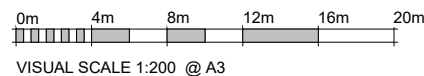
REVISION SCHEDULE

ISSUE	DESCRIPTION	ISSUED BY	DRAWN BY	DATE
A	FOR CLIENT REVIEW	SO	MO	30 04 2021
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CLIENT

KURMOND HOMES

DRAWING TITLE
NOTIFICATION DRAWINGS

DATE
29 04 2022

SCALE @ A1
1 : 200

PROJECT NUMBER
015 / 20-21

DRAWING No.
A132

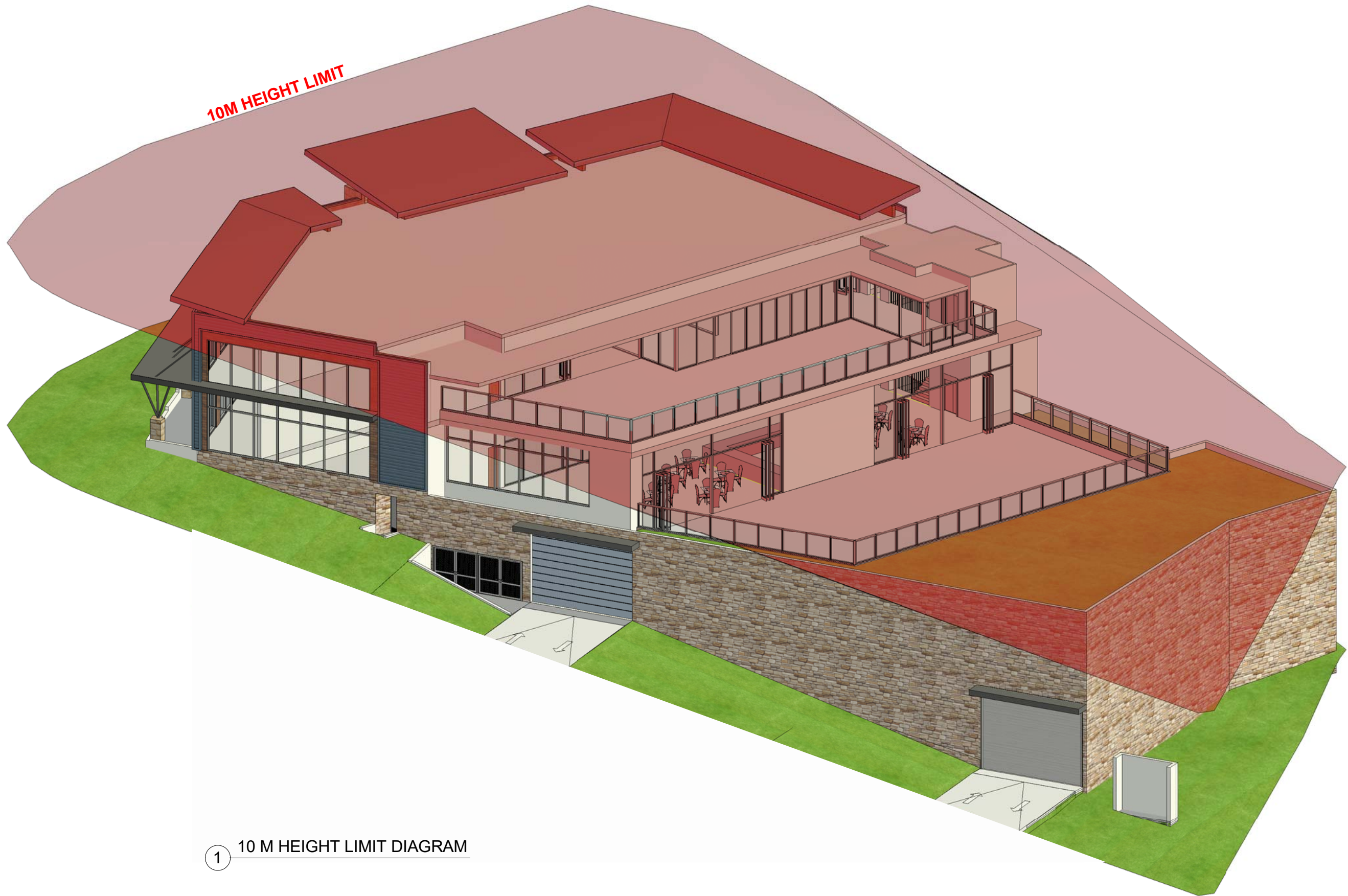
ISSUE
F

PROJECT

PROPOSED RETAIL &
SHOPPING CENTRE
87 OLD BELLS OF LINE OF
ROAD, KURRAJONG

JS Architects Pty Ltd
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ABN 70 119 946 575
Nominated Architect: Stymon Ochudzawa (RAIA 6865)





1 10 M HEIGHT LIMIT DIAGRAM

REVISION SCHEDULE

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KURMOND HOMES

DRAWING TITLE

10M HEIGHT LIMIT DIAGRAM

DATE
29 04 2022

SCALE @ A1
1 : 100

PROJECT NUMBER
015 / 20-21

DRAWING No.
A133

ISSUE
F

PROJECT

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Artist Impression View Looking towards North West on Timms Hill Road

REVISION SCHEDULE				
ISSUE	DESCRIPTION	ISSUED BY	DRAWN BY	DATE
E	GENERAL AMENDMENTS	SO	MO	15 07 2021
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KURMOND HOMES

DRAWING TITLE

Artist Impression View Looking towards North West on Timms Hill Road

DATE

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SCALE @ A1

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Artist Impression View Looking towards South West on Old Bells of Line Road

REVISION SCHEDULE				
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Artist Impression View Looking towards
South West on Old Bells of Line Road

DATE
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SCALE @ A1

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